

**CITY OF AUSTIN**  
**RESIDENTIAL PERMIT APPLICATION "A"**

*Jan 12/16/11*

BP Number PR-11-107048-R  
 Building Permit No. 11-112502  
 Plat No. \_\_\_\_\_ Date \_\_\_\_\_  
 Reviewer DC

**PRIMARY PROJECT DATA**

Service Address 2905 RICHARD LAKE AUSTIN TX 78703 Tax Parcel No. 01180602030000  
 Legal Description  
 Lot 10 A Block \_\_\_\_\_ Subdivision BLENWOOD PLACE AMENDED PART OF LOTS 10-12 Section \_\_\_\_\_ Phase \_\_\_\_\_  
 If in a Planned Unit Development, provide Name and Case No. \_\_\_\_\_  
*(attach final approved copies of subdivision and site plan)*  
**If this site is not a legally subdivided lot, you must contact the Development Assistance Center for a Land Status Determination.**  
 Description of Work \_\_\_\_\_ Remodel (specify) \_\_\_\_\_  
 New Residence \_\_\_\_\_  
 Duplex \_\_\_\_\_  
 Garage  attached  detached \_\_\_\_\_ Addition (specify) \_\_\_\_\_  
 Carport  attached  detached \_\_\_\_\_  
 Pool \_\_\_\_\_ Other (specify) \_\_\_\_\_  
 Zoning (e.g. SF-1, SF-2...) SF-3  
 - Height of Principal building 34'7" ft. # of floors 3 Height of Other structure(s) N/A ft. # of floors \_\_\_\_\_  
 - Does this site currently have water and wastewater availability?  Yes  No. **If no, please contact the Austin Water Utility at 512-972-0000 to apply for water and/or wastewater tap application, or a service extension request.**  
 - Does this site have a septic system?  Yes  No. **If yes, for all sites requiring a septic field you must obtain an approved septic permit prior to a zoning review.**  
 Does this site have a Board of Adjustment ruling?  Yes  No If yes, attach the B.O.A. documentation  
 Will this development require a cut and fill in excess of 4 feet?  Yes  No  
 Does this site front a paved street?  Yes  No A paved alley?  Yes  No  
 Is this property within the Residential Design and Compatibility Standards Ordinance Boundary Area?  Yes  No

**VALUATIONS FOR REMODELS ONLY**

Building \$ \_\_\_\_\_  
 Electrical \$ \_\_\_\_\_  
 Mechanical \$ \_\_\_\_\_  
 Plumbing \$ \_\_\_\_\_  
 Driveway/Sidewalk \$ \_\_\_\_\_  
 TOTAL \$ \_\_\_\_\_  
 (labor and materials)

**VALUATIONS FOR NEW CONSTRUCTION OR ADDITIONS ONLY**

Lot Size 34,410 sq.ft.  
 Job Valuation - Principal Building \$ 808,000  
 (Labor and materials)  
 Job Valuation - Other Structure(s) \$ \_\_\_\_\_  
 (Labor and materials)  
**TOTAL JOB VALUATION**  
 (sum of remodels and additions)  
 \$ 808,000  
 (Labor and materials)

**PERMIT FEES**  
*(For office use only)*

	NEW/ADDITIONS	REMODELS
Building	\$ <u>740.100</u>	\$ _____
Electrical	\$ <u>460</u>	\$ _____
Mechanical	\$ <u>240</u>	\$ _____
Plumbing	\$ <u>250</u>	\$ _____
Driveway & Sidewalk	\$ <u>X</u>	\$ _____
<b>TOTAL</b>	\$ _____	\$ _____

**OWNER / BUILDER INFORMATION**

OWNER Name MICHAEL DEANE Telephone (h) (512) 632-9786  
 (w) (512) 473-2402  
 BUILDER Company Name MICHAEL DEANE HOMES, INC. Telephone (512) 473-2400  
 Contact/Applicant's Name MICHAEL DEANE Pager \_\_\_\_\_  
 FAX (512) 473-2401  
 DRIVEWAY/SIDEWALK Contractor AUSTIN CONCRETE SOLUTIONS Telephone (512) 301-1335  
 CERTIFICATE OF OCCUPANCY Name MICHAEL DEANE Telephone \_\_\_\_\_  
 Address 2414 EXPOSITION BLVD, SUITE D-100 City AUSTIN ST TX ZIP 78703

If you would like to be notified when your application is approved, please select the method:  
 telephone  e-mail: SEAN@KSASSOC.COM  
 You may check the status of this application at [www.ci.austin.tx.us/development/pierivr.htm](http://www.ci.austin.tx.us/development/pierivr.htm)

**CITY OF AUSTIN  
RESIDENTIAL PERMIT APPLICATION "B"**

**CITY OF AUSTIN  
RESIDENTIAL PERMIT APPLICATION**

I understand that in accordance with Sections 25-1-411 and 25-11-66 of the Land Development Code (LDC), non-compliance with the LDC may be cause for the Building Official to suspend or revoke a permit and/or license. I understand that I am responsible for complying with any subdivision notes, deed restrictions, restrictive covenants and/or zoning conditional overlays prohibiting certain uses and/or requiring certain development restrictions (i.e., height, access, screening, etc.) on this property. If a conflict should result with any of these restrictions, it will be my responsibility to resolve it. I understand that, if requested, I must provide copies of all subdivision plat notes, deed restrictions, restrictive covenants, and/or zoning conditional overlay information that may apply to this property.

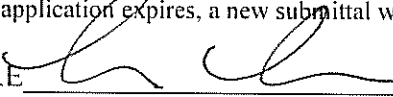
I acknowledge that this project qualifies for the Site Plan Exemption as listed in Section 25-5-2 of the LDC.

I understand that nothing may be built upon or over an easement. I further understand that no portion of any roof structure may overhang in any public utility or drainage easement.

I acknowledge that customer will bear the expense of any necessary relocation of existing utilities to clear this driveway location and/or the cost to repair any damage to existing utilities caused during construction.

I also understand that if there are any trees greater than 19 inches in diameter located on the property and immediately adjacent to the proposed construction, I am to schedule a Tree Ordinance review by contacting (512) 974-1876 and receive approval to proceed.

I agree that this application will expire on the 181st day after the date that the application is filed if the application is not approved and an extension is not granted. If the application expires, a new submittal will be required.

APPLICANT'S SIGNATURE  \_\_\_\_\_ DATE \_\_\_\_\_

HOME BUILDER'S STATE REGISTRATION NUMBER (required for all new construction) \_\_\_\_\_

**Rejection Notes/Additional Comments (for office use only):**

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Service Address 2905 Ricardo Lane Austin TX 78703

Applicant's Signature  \_\_\_\_\_ Date 12-7-2011

**AUSTIN  
RESIDENTIAL PERMIT APPLICATION "B"**

**CITY OF AUSTIN  
RESIDENTIAL PERMIT APPLICATION**

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APPLICANT'S SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

HOME BUILDER'S STATE REGISTRATION NUMBER (required for all new construction) \_\_\_\_\_

**Rejection Notes/Additional Comments (for office use only):**

- |   |                        |
|---|------------------------|
| (1) Need to sign/date page B                    | Tree -> permit pending |
| (2) Reduced plans have no dimensions/scaled?    | TCAD - ✓               |
| (3) Dimension line must be re-drawn             | GIS - ✓                |
| (4) Expired demo for old house                  | Amendo - ✓             |
| (5) Remove all existing from proposed site plan |                        |
| (6) Name H.D. / A. / J. / T. / G. / S. / R.     |                        |

Service Address \_\_\_\_\_

Applicant's Signature \_\_\_\_\_ Date \_\_\_\_\_

**CITY OF AUSTIN  
RESIDENTIAL PERMIT APPLICATION "C"**

**BUILDING COVERAGE**

The area of a lot covered by buildings or roofed areas, but not including (i) incidental projecting eaves and similar features, or (ii) ground level paving, landscaping, or open recreational facilities.

	Existing	New / Addition
a. 1 <sup>st</sup> floor conditioned area	_____ sq.ft.	4,267 sq.ft.
b. 2 <sup>nd</sup> floor conditioned area	_____ sq.ft.	1,722 sq.ft.
c. 3 <sup>rd</sup> floor conditioned area	_____ sq.ft.	0 sq.ft.
d. Basement	_____ sq.ft.	2,259 sq.ft.
e. Garage / Carport	_____ sq.ft.	_____ sq.ft.
<input checked="" type="checkbox"/> attached	_____ sq.ft.	1,044 sq.ft.
_____ detached	_____ sq.ft.	_____ sq.ft.
f. Wood decks [ <i>must be counted at 100%</i> ]	_____ sq.ft.	0 sq.ft.
g. Breezeways	_____ sq.ft.	0 sq.ft.
h. Covered patios	_____ sq.ft.	0 sq.ft.
i. Covered porches	_____ sq.ft.	326 sq.ft.
j. Balconies	_____ sq.ft.	41 sq.ft.
k. Swimming pool(s) [ <i>pool surface area(s)</i> ]	_____ sq.ft.	_____ sq.ft.
l. Other building or covered area(s)	_____ sq.ft.	_____ sq.ft.
Specify _____		

**TOTAL BUILDING AREA** (add a. through l.) \_\_\_\_\_ sq.ft. 9,659 sq.ft.

**TOTAL BUILDING COVERAGE ON LOT** (subtract, if applicable, b., c., d., k. and l. if uncovered) 5,678 sq.ft.  
16.5 % of lot

**IMPERVIOUS COVERAGE**

Include building cover and sidewalks, driveways, uncovered patios, decks, air conditioning equipment pad, and other improvements in calculating impervious cover. Roof overhangs which do not exceed two feet or which are used for solar screening are not included in building coverage or impervious coverage. All water must drain away from buildings on this site and buildings on adjacent lots.

a. Total building coverage on lot ( <i>see above</i> )	_____ sq.ft.	5,678
b. Driveway area on private property	_____ sq.ft.	1,894
c. Sidewalk / walkways on private property	_____ sq.ft.	425
d. Uncovered patios	_____ sq.ft.	810
e. Uncovered wood decks [ <i>may be counted at 50%</i> ]	_____ sq.ft.	0
f. Air conditioner pads	_____ sq.ft.	36
g. Concrete decks	_____ sq.ft.	_____
h. Other (specify) _____	_____ sq.ft.	31

**TOTAL IMPERVIOUS COVERAGE** (add a. through h.) \_\_\_\_\_ sq.ft.  
8,924 sq.ft.  
25.93 % of lot

**AUSTIN  
RESIDENTIAL PERMIT APPLICATION "D"  
FLOOR AREA RATIO INFORMATION**

TO BE COMPLETED FOR ALL PROPERTIES LOCATED WITHIN THE RESIDENTIAL DESIGN AND COMPATIBILITY STANDARDS ORDINANCE BOUNDARY AREA.

Service Address 2905 RICHARD LANE AUSTIN TX 78703

Applicant's Signature [Signature] Date 11/15/11

**GROSS FLOOR AREA AND FLOOR AREA RATIO as defined in the Austin Zoning Code.**

	<u>Existing</u>	<u>New / Addition</u>
<b>I. 1<sup>st</sup> Floor Gross Area</b>		
a. 1 <sup>st</sup> floor area (excluding covered or uncovered finished ground-floor porches)	_____ sq.ft.	4,267 sq.ft.
b. 1 <sup>st</sup> floor area with ceiling height over 15 feet.	_____ sq.ft.	176 sq.ft.
c. <b>TOTAL (add a and b above)</b>	_____ sq.ft.	4,443 sq.ft.
<b>II. 2<sup>nd</sup> Floor Gross Area</b> See note <sup>1</sup> below		
d. 2 <sup>nd</sup> floor area (including all areas covered by a roof i.e. porches, breezeways, mezzanine or loft)	_____ sq.ft.	1,763 sq.ft.
e. 2 <sup>nd</sup> floor area with ceiling height > 15 feet.	_____ sq.ft.	0 sq.ft.
f. <b>TOTAL (add d and e above)</b>	_____ sq.ft.	1,763 sq.ft.
<b>III. 3<sup>rd</sup> Floor Gross Area</b> See note <sup>1</sup> below		
g. 3 <sup>rd</sup> floor area (including all areas covered by a roof i.e. porches, breezeways, mezzanine or loft).	_____ sq.ft.	0 sq.ft.
h. 3 <sup>rd</sup> floor area with ceiling height > 15 feet	_____ sq.ft.	0 sq.ft.
i. <b>TOTAL (add g and h above)</b>	_____ sq.ft.	0 sq.ft.
<b>IV. Basement Gross Area</b>		
j. Floor area outside footprint of first floor or greater than 3 feet above grade at the average elevation at the intersections of the minimum front yard setback line and side property lines.	_____ sq.ft.	2,259 sq.ft.
<b>V. Garage</b>		
k. <input checked="" type="checkbox"/> attached (subtract 200 square feet if used to meet the minimum parking requirement)	_____ sq.ft.	814 sq.ft.
l. <input type="checkbox"/> detached (subtract 450 square feet if more than 10 feet from principal structure)	_____ sq.ft.	0 sq.ft.
<b>VI. Carport</b> (open on two or more sides without habitable space above it subtract 450 square feet)		
	_____ sq.ft.	400 sq.ft.
<b>VII. TOTAL</b>		
	_____ sq.ft.	9,709 sq.ft.

<b>TOTAL GROSS FLOOR AREA</b> (add existing and new from VII above)	9,709 <del>9,509</del> sq. ft.
<b>GROSS AREA OF LOT</b>	34,410 sq. ft.
<b>FLOOR AREA RATIO</b> (gross floor area / gross area of lot)	22.68 <del>27.91</del> % 22.21

<sup>1</sup> If a second or third floor meets all of the following criteria it is considered to be attic space and is not calculated as part of the overall Gross Floor Area of the structure.

- It is fully contained within the roof structure and the roof has a slope of 3 to 12 or greater
- It only has one floor within the roof structure
- It does not extend beyond the foot print of the floors below
- It is the highest habitable portion of the building; and
- Fifty percent or more of the area has a ceiling height of seven feet or less.



# Austin Water Utility

## Water & Wastewater Service Plan Verification

### (W & WW SPV)

(Please Print or Type)

Customer Name: MICHAEL DEANE Phone: (512) 632-9186 Alternate Phone: (512) 473-2400

Service Address: 2905 RICHARD LANE, AUSTIN TX 78703

Lot: DA Block: \_\_\_\_\_ Subdivision/Land Status: BLUESTOOD PLACE Tax Parcel ID No.: 01180602630000

Existing Use: vacant single-family res. duplex garage apartment other \_\_\_\_\_  
(Circle one)

Proposed Use: vacant single-family res. duplex garage apartment other \_\_\_\_\_  
(Circle one)

Number of existing bathrooms: \_\_\_\_\_ Number of proposed bathrooms: 8

City of Austin Office Use

Water Main size: \_\_\_\_\_ Service stub size: \_\_\_\_\_ Service stub upgrade required? \_\_\_\_\_ New stub size: \_\_\_\_\_

Existing Meter number: \_\_\_\_\_ Existing Meter size: \_\_\_\_\_ Upgrade required? \_\_\_\_\_ New size: \_\_\_\_\_

WW Service: Septic System/On-Site Sewage Facility (OSSF) \_\_\_\_\_ or WW Collection System \_\_\_\_\_ WW Main size: \_\_\_\_\_

**If the site has an OSSF, please contact Utility Development Services (UDS) at 972-0210 or 972-0211, Waller Creek Center, 625 E. 10<sup>th</sup> Street, Suite 715 for consultation and approval.**

W&WWSPV Completed by (Signature & Print name) _____	Date _____	Phone _____
OSSF (if applicable) Approved by UDS (Signature & Print name) _____	Date _____	Phone _____
AWU Representative _____	Date _____	Phone _____

Approved:  Yes (see attached approved documents)  No

**NOTE: For residential plan review, this original stamped "approval" must be submitted with the stamped "original" floor plan.**

**Verification expires 180 days after date of Submittal**

**Instructions:**

The intent of the "W&WWSPV" is to ensure that, prior to beginning a single-family residential project (includes duplex and garage apartment uses), adequate water/wastewater service can be provided to the site and is planned for as part of the overall project, and to ensure that the applicant is aware of the potential costs associated with the relocation, new service or upgrading of existing services to the site. A "W&WWSPV" is required, prior to submitting for residential permit, for the following project types:

- Construction of a new home, duplex, or garage apartment (except for projects identified as a "volume builder" project)
- Remodeling/additions to an existing structure to increase the number of total bathrooms on the site to more than 3
- Remodeling/additions that increase the number of units on the site (for example, converting a home to a duplex)
- Remodeling/additions to an existing structure to increase the number of total bedrooms, total living square footage or change in surface improvement such as swimming pool, driveway, garage, etc. (for structure using OSSF).

If a "W&WWSPV" is required, complete the verification form above, and provide a copy of the "plot plan" for the site (plot plan, house floor plan and other required planning material for OSSF). The "plot plan" should be to a standard scale and show all existing and proposed improvements. Submit the application and planning material to Austin Water Utility-Taps Division (to UDS for OSSF) for approval, prior to submitting for a residential building permit, at one of the locations below:

**Note: Applicant must contact AWU taps office, at either location noted below, to submit an application (if required) for a meter upgrade or a new service before issuance of the building permit.**

Austin Water Utility- Waller Creek  
 625 E 10<sup>th</sup> St, Austin, TX 78701  
 (512) 972-0000 – Suite 200 - TAPS Division  
 (512) 972-0207 – Suite 715 - UDS Division

Development Assistance Center- One Texas Center  
 505 Barton Springs, Austin, TX 78704  
 (512) 974-6370

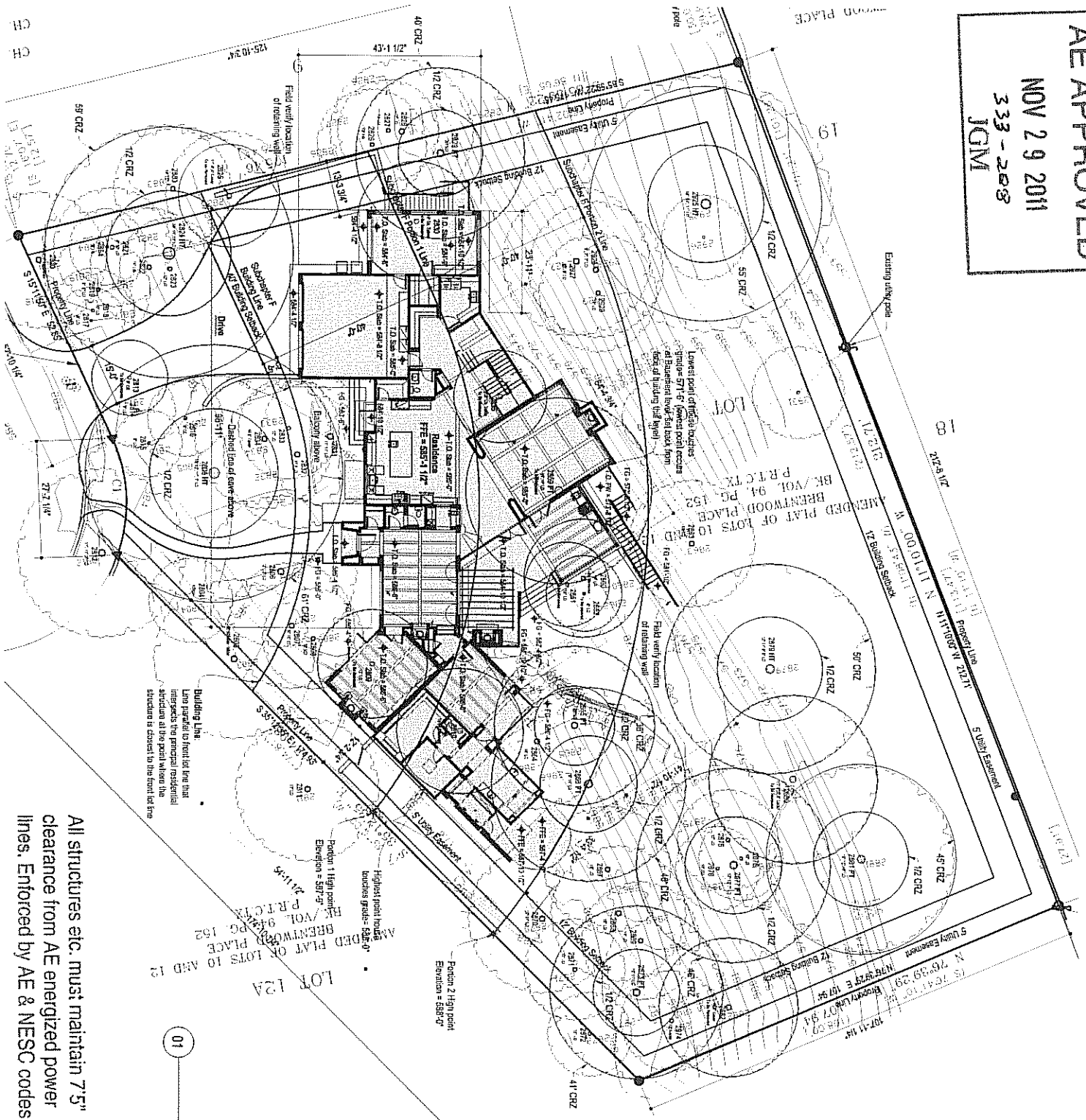
Updated: November 16, 2009



AE APPROVED

NOV 29 2011

333-283 JGM



ADDED PLAT OF LOTS 10 AND 12  
 BRENTWOOD PLACE  
 P.R.C.T.K. PG. 152

ADDED PLAT OF LOTS 10 AND 12  
 BRENTWOOD PLACE  
 P.R.C.T.K. PG. 152

01

Site Plan  
1/32"=1'-0"

22 NOV 2011

*am on top*

All structures etc. must maintain 7'5" clearance from AE energized power lines. Enforced by AE & NESC codes.

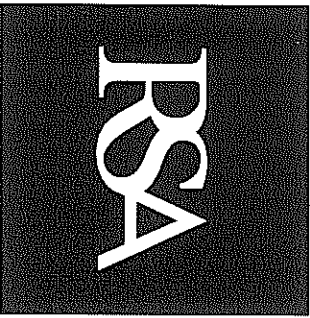
Private Residence  
2905 Richard Lane  
Austin TX 78703

Subcontractor F Compliance  
sheet 04 of 12

Ryan Street & Associates

2114 Exposition Blvd, Suite B-140  
Austin, Texas 78703  
Office: 512.421.0000

This Sheet & Associates represent the design of the project. These sheets are not to be reproduced, changed or copied in any form or manner whatsoever, nor are they to be assigned to a third party, without the written consent of Ryan Street & Associates.





ONE STOP SHOP  
505 Barton Springs  
Austin, Texas 78703  
(512) 974-2632 phone  
(512) 974-9112 phone  
(512) 974-9779 fax  
(512) 974-9109 fax



Austin Energy  
**Electric Service Planning Application (ESPA)**  
**For Residential and Commercial "SERVICE ONLY"**  
**Under 350 amps 1φ or 225 amps 3φ**

Check this box if this is for a building permit only.

(Please print or type. Fields left blank will be considered Not Applicable.)

Responsible Person for Service Request Bill Lewis Phone 2640960  
 Email Blewiselectric@SBCGlobal.net Fax 2640956  
 Project Name DEANE RESIDENCE  New Construction  Remodeling  
 Project Address 2905 RICHARD LANE AUSTIN, TX OR  
 Legal Description \_\_\_\_\_ Lot \_\_\_\_\_ Block \_\_\_\_\_  
 Requested Service Duration:  Permanent Service  Construction Power/Temp Service  
 (Usually less than 24 months)  
 Who is your electrical service provider?  AE  Other \_\_\_\_\_

Overhead or  Underground Voltage 240  Single-phase (1φ) or  Three-phase (3φ)  
 Service Main Size(s) 350 (amps) Number of Meters? \_\_\_\_\_  
 AE Service Length 75' (ft.) Conductor 400 MCM (type & size)  
 SqFt Per Unit 6800 #Units 1  All Electric  Gas & Electric  Other \_\_\_\_\_  
 Total AC Load 14 (Tons) Largest AC unit 5 (Tons)  
 LRA (Locked Rotor Amps) of Largest AC Unit 37 (Amps)  
 Electric Heating \_\_\_\_\_ (kW) Other \_\_\_\_\_ (kW)

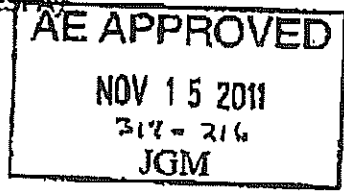
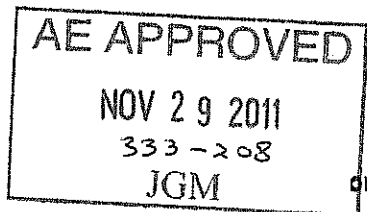
Comments: Secondary Riser more than likely

Bill Lewis Bill Lewis 11/10/11 2640960  
ESPA Completed by (Signature & Print name) Date Phone

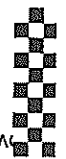
AE Representative \_\_\_\_\_ Approved:  Yes  No (Remarks on back) \_\_\_\_\_ Date \_\_\_\_\_ Phone \_\_\_\_\_

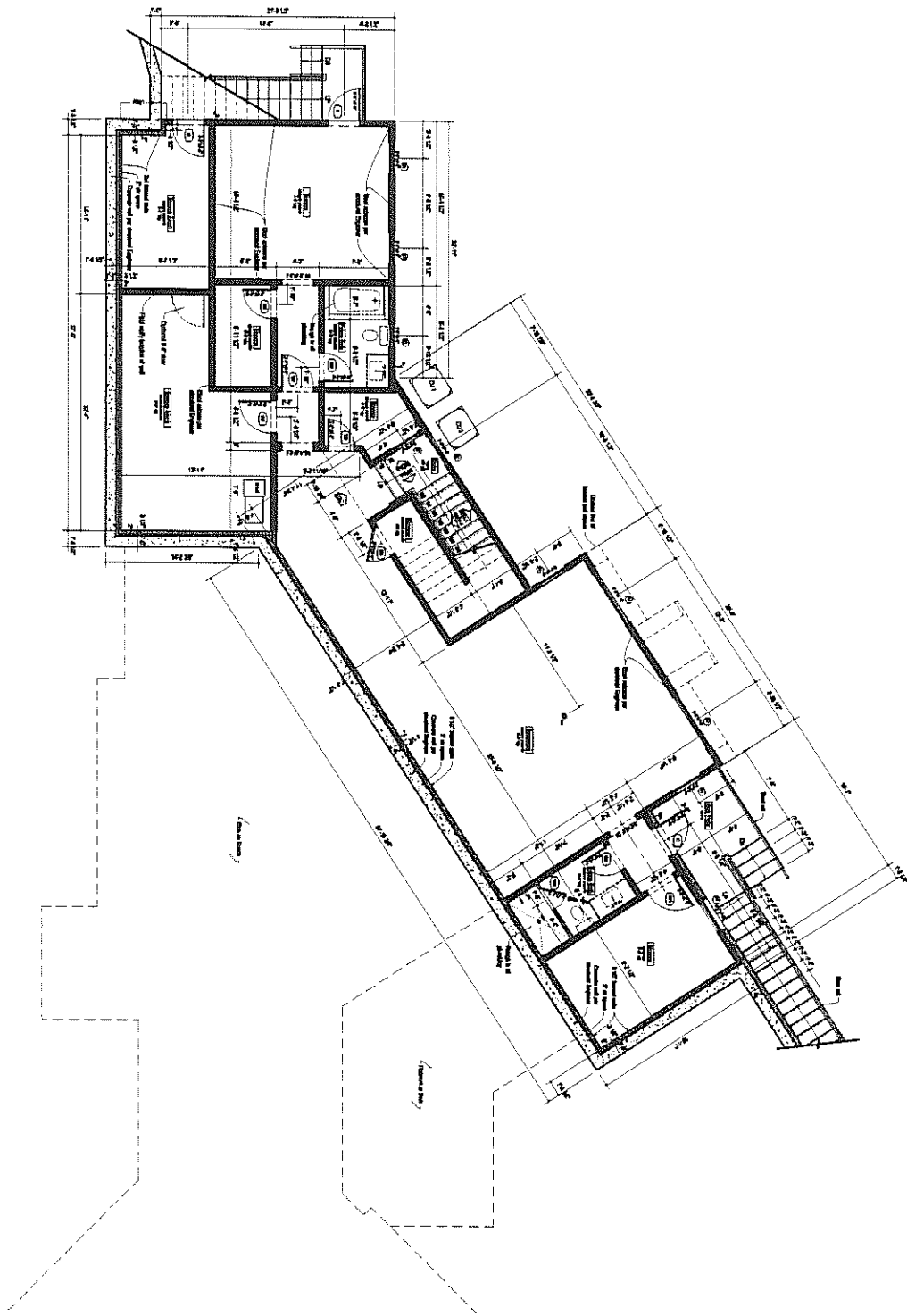
**Application expires 180 days after date of Approval**  
(Any change to the above information requires a new ESPA)

Version 1.1.0.0  
All structures etc. must maintain 7'5" clearance from AE energized power lines. Enforced by AE & NESC codes.



512 264-0956 p.1  
512 264-0956 p.1  
Nov 15 11 04:05p Bill Lewis Electric Inc  
Nov 15 11 05:4p Bill Lewis Electric Inc



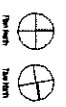
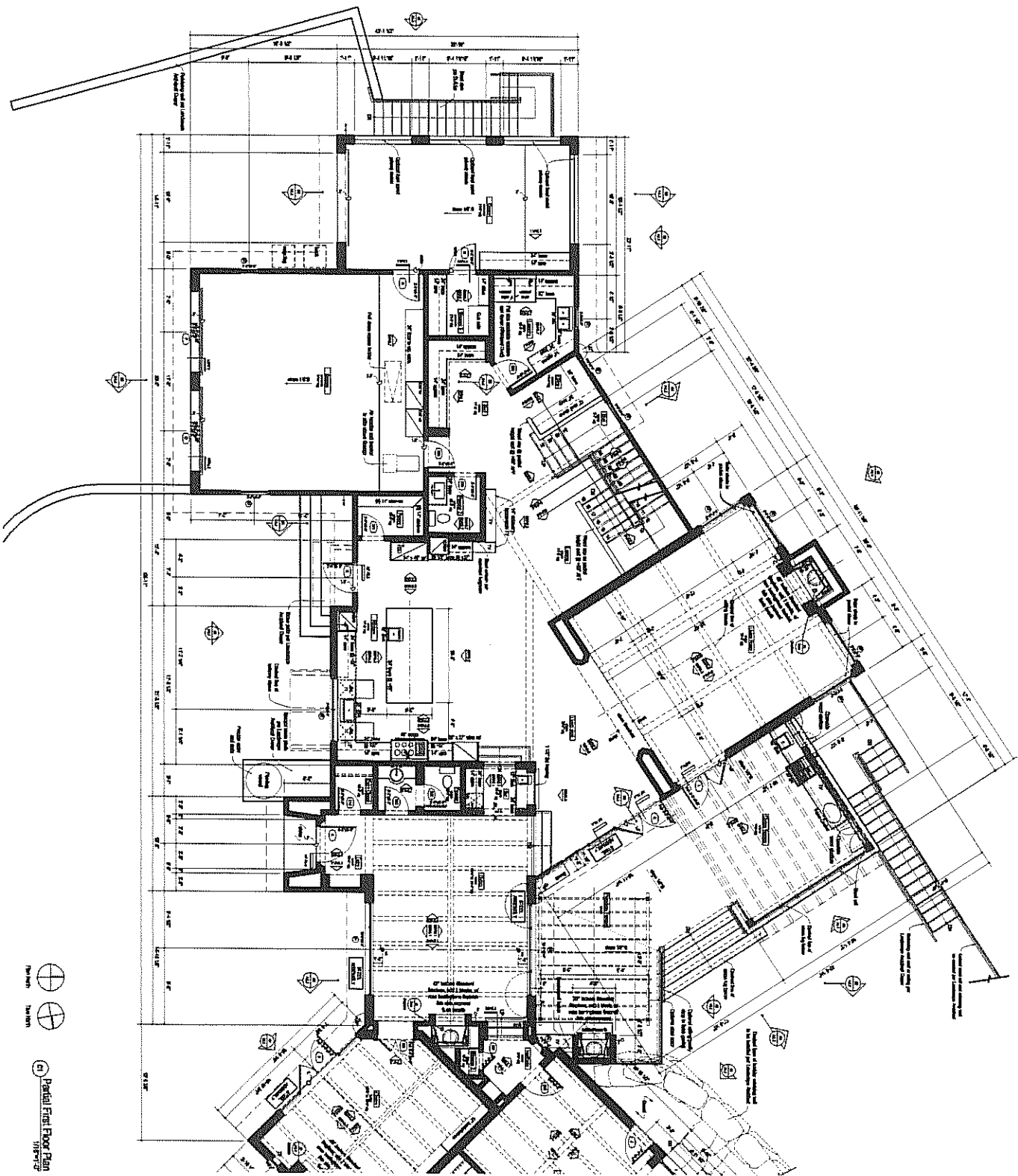


Basement Floor Plan  
Sheet 2/2

A2.0	REVISION	
	DATE	
<b>Private Residence</b> <b>2905 Richard Lane</b> Austin, Texas		
Ryan Sheet & Associates 2911 Lyndon B. Johnson Austin, Texas 78746 Tel: 512.476.1111 Fax: 512.476.1112		



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Partial First Floor Plan  
1/18/2012

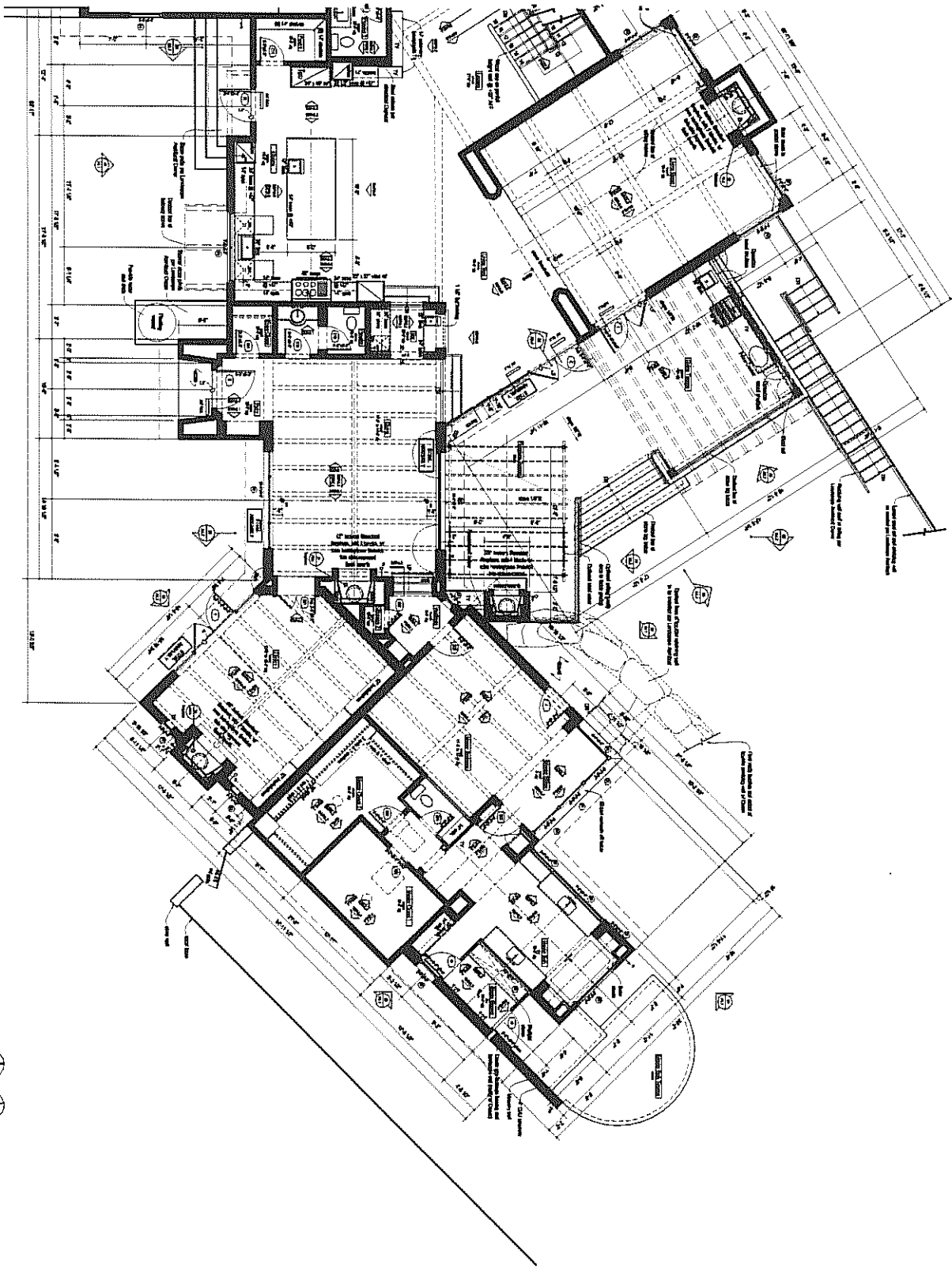
A2.1	FIRST FLOOR PLAN	REVISION	DATE	BY	CHKD

**Private Residence**  
2905 Richard Lane  
Austin, Texas

**RSA**  
Ryan Street & Associates  
20111 Woodloch Forest  
Austin, Texas 78738  
Tel: 512.452.1100



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Partial First Floor Plan  
1/11/19

A2.2	Private Residence 2905 Richard Lane Austin, Texas
	<p>ISA Ryan Smart &amp; Associates 2905 Richard Lane Austin, Texas 78746 Tel: 512.452.1234</p>

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