



Property: 2905 Richard Ln.
Austin, Texas 78703
Client: Carol Dochen
Inspection Type: Property Assessment Report
Lead Inspector: Andy Jordan #9458
Date: April 5, 2018



To Whom It May Concern:

On April 5, 2018, a site visit to the above-referenced property was made in order to assess and investigate the property and/or associated systems. A list of noted concerns, recommendations, and/or issues has been provided in the report below. This report is not a TREC associated document and should not be used or perceived as such. Based on the scope of work, a full TREC report and/or additional information may be delivered in addition to this document.

Multiple limitations were present and additional issues, both minor and significant, may not be documented in delivered reports or discovered during the assessment of the property. The assessment process is not designed to be intrusive, destructive, or all encompassing. Rather, the assessment and report represent this inspector's professional opinion of the overall condition of the structure and/or associated systems. This third party assessment and report has been provided to the client for the purposes of due diligence, filing of available information, and additional client protection. The assessment process and report do not, in any manner, represent a guarantee or warranty of the above-referenced property.

Below is a limited list of information gathered at the time of assessment.

This is not an official TREC report document and should not be used as such.

ADDENDUM: REPORT SYNOPSIS

The following is a synopsis of the recommended repairs noted in this report. Most of the recommended repairs are considered to be minor. However, there may be some potentially significant improvements that should be budgeted for over the short term. Other significant improvements, outside the scope of this inspection, may also be necessary. Please refer to the body of this report for further details on these and other recommendations:

STRUCTURAL SYSTEMS

Foundations

COMMON FOUNDATION ADJUSTMENT AND IMPROVEMENT RECOMMENDATIONS:

The following updates, adjustments, and/or minor improvements will increase the overall quality and protection of the structure as a whole. Noted areas in need of maintenance include, but are not limited to:

- Portions of Foundation Wall Not Finished With Parging Material: Common Cosmetic Finish (Not a Structural Feature - Update as Needed/Desired)
- Protruding Nails at Back Foundation/Decking Walls: Remove Protruding Nails to Reduce Risk of Injury
- Portions of Form Boards Left in Place (Back Wall): Remove Wood Debris Near Foundation to Prevent Termite Attraction
- Exposed Plumbing at Back Foundation Wall: Install Foundation Parging to Improve Material Protection

Grading and Drainage

REDUCE ELEVATED SOIL/LANDSCAPE MATERIAL HEIGHT:

Elevated soil/material lines were noted at portions of the exterior walls (soil rises above foundation - contact w/ siding). High soil lines increase the likelihood of moisture penetration into the structure, damage to building material, and insect intrusion (to include termites). General standards call for no less than 3" of foundation wall to be visible above the soil line or landscaping material. Additionally, a 5% grade slope (6" drop per 10') away from the structure is recommended to promote natural moisture diversion. Ensure soil line issues are addressed and overall moisture diversion away from the structure meets or exceeds minimum standards. If limitations are present which prevent the ability to feasibly attain minimum soil line and/or slope standards, a landscaping/irrigation specialist should be contacted to determine what improvement options are available and warranted.

GUTTER SERVICING AND REPAIR RECOMMENDED:

Common gutter servicing and repair needs were discovered during the inspection process (debris build up/loose or damaged material/leaks at joint connections/gutter exit update needs/etc.). Contacting a gutter specialist is recommended to service and update the gutter system as needed. Gutter issues noted at the time of inspection include, but are not limited to:

- Replace Damaged Gutters Due to Tree Contact: Left Side Structure Near Carport
- Trim Trees to Prevent Further Damage to Gutter/Structure
- Consider Gutter Screens to Reduce Tree Debris Entry/Servicing Needs

Roof Covering Materials

Roof Covering Materials (continued)

TREE LIMB CONTACT NOTED - NO SIGNIFICANT DAMAGE:

Current tree limb contact with the roof and structure was noted. At the time of inspection, no significant damage to roofing material was discovered (damage to gutters, minor roof damage/concerns). Tree contact with the roof and structure can lead to material damage in a relatively short amount of time. Additionally, tree to structure contact is a common bridge for vermin and insects to access and infest buildings. A tree specialist should address limb contact and make needed adjustments to surrounding trees/shrubs. Ensure updates and maintenance are addressed in an expeditious manner.

MAINTENANCE/REPAIR RECOMMENDATIONS AND CONCERNS:

Areas of common flaws, adjustment needs, and/or general concern were discovered during the roof assessment. Ensure all recommendations and concerns are professionally addressed as needed. Areas of concern noted at the time of inspection include, but are not limited to:

- Self Tapping Screws Utilized at Porch Roof and Ridge Caps: Monitor and Update as Needed (Re-SecureCaulk/Seal Every 5-7 Years)
- Ensure All Standing Seams Properly Crimped: 1' Un-crimped Section Over Car Port (Minor Issue)
- Excess Tree Sap and/or Construction Adhesive at Exposed Rafter Ends/Soffit Features (Various Areas): Cosmetic Issue Only (Update as Needed/Desired)

FLASHING UPDATES AND IMPROVEMENTS RECOMMENDED:

Flashing issues and/or areas of minimal moisture diversion were noted. Improper flashing is a common point of moisture entry and damage to a structure. Flashing improvements are recommended to eliminate or prevent issues associated with improper roof run-off diversion. Areas of concern noted at the time of inspection include, but are not limited to:

- Flashing/Install Issues and Concerns at the Right Side Low/Flat Roof
- Flashing Install Issues and Concerns at The Right Side Chimney Area
- NOTE: Consult With Subject Matter Expert On Site for Further Details and Update Recommendations/Costs

INSTALLATION CONCERNS AND MAINTENANCE UPDATE NEEDS:

Areas of roofing installed in a manner considered to be outside best practices were discovered during the system assessment. Ensure all recommendations and concerns are professionally addressed as needed. Areas of concern noted at the time of inspection include, but are not limited to:

- Improper Installation of Metal Roofing at Low/Flat Sloped Portion of Roof (Right Side): Contact Roofing Specialist to Update as Needed
- Improper Installation of Roof Flashing/Metal Panels at Flat/Low Slope Roof (Right Side): Elevated Likelihood of Moisture Penetration/Issues (Contact Roofing Specialist to Update as Needed)
- Improper Installation of Roof Vent Pipe Boots/Flashing at Various Areas: Increased Likelihood of Moisture Penetration (Contact Roofing Specialist to Update as Needed)
- Excess Use of Caulking/Sealing as Primary Means of Moisture Protection (Right Side and Various Vent Boots): Contact Roofing Specialist to Update as Needed

Interior Walls

Interior Walls (continued)

TILE GAPS AND REPAIR NEEDS AT BATHROOM WALLS:

Maintenance and repair needs to reduce moisture entry points were discovered at bathroom walls. Ensure all gaps and issues at bathroom walls are eliminated and any current damage to surrounding material addressed. Areas of noted wall gaps/issues include, but are not limited to:

- Tile Wall at Upstairs Pink Bathroom

- Pedestal Area of Lower Level Shower Wall

-NOTE: Gaps at shower pedestals (sitting areas) is a common area of discovered damage and moisture issues within structures. An elevated degree of maintenance and monitoring is required at these areas to prevent damage to interior framing and possible air quality/organic growth.

MOISTURE DAMAGE AT KITCHEN WALL:

An area of moisture damage to the interior kitchen wall (near entry door) was discovered. The area of noted damage is located near/adjacent to exterior features which may be causing/promoting moisture penetration into the structure. Ensure the area of damaged wall material is removed and non-visible portions of the structure are visually assessed for additional damage. Adjust/update exterior features to prevent future damage and make all cosmetic repairs per contractual agreements.

NOTE: Additional investigation of this area is scheduled. Report updates will be provided following further investigation.

UPDATE (2018APR13): During a return visit to the property, additional information provided by the current owners indicated that the wall damage discovered in the kitchen area was caused by the loss of power and leakage of a freezer (date of incident unknown). Additional moisture meter and thermal testing took place at the area of concern. When compared to control moisture readings (moisture percentages recorded at non-damaged areas of similar material), moisture percentages appeared to be normal at the affected area. Although the interior wall damage/issue appears to be unrelated to concerns at outdoor pavers, the recommendation to adjust exterior features remains unchanged.

Exterior Walls

ELEVATED FOLIAGE CONTACT WITH STRUCTURE:

Areas of elevated contact with foliage was noted. Siding and building material in direct contact with foliage is at a higher risk of moisture issues, insect, and vermin intrusion. Trimming all heavy foliage is recommended to reduce these concerns and improve visibility of the structure (per general maintenance guidelines).

REDUCED CONTROL JOINTS - INSTALLATION METHODS OUTSIDE BEST PRACTICES:

A reduction of wall control joints were noted. These wall features are typically installed throughout the exterior siding to allow for release of material stress as the structure naturally moves/shifts. Reduced control joints may result in an increase of stress cracking (both in size and number). At the time of inspection, common stress and shrinkage cracks were noted at various areas. Isolated areas of elevated crack damage was discovered (elevated cracks remain minor - less than 1/8" gaps). Further assessment by a stucco/exterior siding specialist is recommended to determine if updates/adjustments are available and warranted. Noted cracks or general issues considered to be of elevated concern (outside that of common cosmetic damage) include, but are not limited to:

- Siding Crack Over Main Entry

- Siding Crack at Flashing Under Flat Roof (Right Side Structure)

- Siding Crack and Possible Patch Work/Updates at Back Wall (Near Chimney and Porch Slab)

- All Areas In Which Siding is in Direct Contact With Soil

- All Areas in Which Siding is In Direct Contact With Pavers/Slabs

Exterior Walls (continued)

MATERIAL INSTALLATION CONCERN - CEMENT BACKER BOARD AT EXTERIOR WALL:

Material which appeared to be cement backer board (or similar) was present at the back right portion of the structure (installed over foundation wall under master bedroom windows). At the time of assessment, minor damage to the material due to direct soil contact was noted. Ensure adjustments to all siding material in direct contact with soil grade material takes place and repairs occur as needed. Further assessment by a material expert took place on 12APR2018. Additional repair/update recommendations are deferred to the subject matter expert.

MAINTENANCE/REPAIR RECOMMENDATIONS AND CONCERNS:

Areas of common flaws, adjustment needs, and/or general concern were discovered during the exterior wall assessment. Ensure all recommendations and concerns are professionally addressed as needed. Areas of concern noted at the time of inspection include, but are not limited to:

- Moisture Staining/Elevated Water Run Off at Chimney Area: Consult With Roofer to Determine if Flashing Updates are Available and Warranted
- Moisture Staining/Elevated Water Run Off at Right Side Flat Roof Area: Consult With Roofer/Address Cosmetic Issues as Needed
- Secure Loose Vermin Screen at Exhaust Cap Exit: Upper Wall Over Back Porch Roof (Maintenance Update)
- Minor Damage/Material Separation at Metal Trim Pieces: Wall Panel/Stucco Edges (Update as Needed)
- Seal All Gaps at Window/Door Frame Joints With Exterior Framing: Preventative Maintenance Update Need
- Sprinkler Overspray/Front Entry Paver Feature: Adjust Surrounding Sprinklers as Needed
- Sprinkler Overspray/Exterior Master Shower Door Paver Feature: Adjust Surrounding Sprinklers as Needed

Floors

COMMON FLOORING ISSUES AT HIGH MOISTURE AREAS - EXTERIOR DOOR TRANSITIONS:

Caulking and sealing improvements at flooring gaps located in and around high moisture areas (kitchens, baths, door thresholds, etc.) is recommended to reduce moisture entry points. Excess moisture entering under and between flooring material can cause damage to floors and surrounding material.

Doors

GAP AND MOISTURE ENTRY CONCERN - MASTER DOOR THRESHOLDS:

Gaps at outdoor paver/door thresholds are creating possible moisture entry points (due to the outdoor paver being flush with the threshold/foundation). Updates and adjustment to any gaps and possible moisture entry points at door/paver connections are recommended to reduce the likelihood of moisture penetration and damage to structural material.

NOTE: Specific issues/concerns of current moisture entry/escape/damage were noted at the kitchen entry door (entrance at front yard) and the master shower exterior door (large gap at threshold - paver connection area).

Doors (continued)

COMMON UPDATES AND ADJUSTMENTS REQUIRED:

The following common updates, adjustments, and/or recommendations should be addressed per general maintenance guidelines. Door maintenance needs noted at the time of inspection include; but are not limited to:

- Minor Ghosting at Door/s (Uneven - Swinging Open/Closed): Common Adjustments Needed
- Non Functional Digital Lock Pad/Carport Storage Door
- Loose Exterior Door Handle/Dining Room: Adjust/Repair Prior to Failure
- Difficulty Locking Exterior Door (Kitchen Area)
- Minor Material Damage: Normal Wear/Tear (Cosmetic Flaws Only)
- Issues/Difficulty Opening Hidden Closet Door (Near Master Bedroom Entry): Update as Needed
- Minor Weather Stripping Damage at Back Door (Exiting to Small Concrete Deck): Replace Weather Stripping at Next Maintenance Update
- Minor Moisture Stripping Damage at Lower Level Shower Door: Replace Moisture Stripping at Next Maintenance Update
- Weather/Moisture Strip Update Needs at Exterior Master Shower Door: Water Loss and Pooling at Paver
- Minor Rust/Corrosion at Exterior Metal Doors/Door Frames: Sand/Repaint/Protect as Needed and Address Paver Issues (Pooling Water)
- NOTE: Pooling water and moisture entry concerns/issues at exterior doors due to outdoor pavers has been noted in the 'Porches/Decks' chapter of this report and in a statement above. Ensure all paver issues which may be affecting door material are updated as needed. See above chapters for additional details.

Windows

GENERAL MAINTENANCE RECOMMENDATIONS:

The following updates, adjustments, and/or minor improvements will increase the overall quality and protection of the structure as a whole. Noted areas in need of maintenance include, but are not limited to:

- 1x Motorized Blind Removed/Living Room: Update/Repair as Needed
- Missing Hand Cranks at Bedroom Windows (2): Replace All Missing Cranks as Needed

Porches, Balconies, Decks, and Carports

POSSIBLE LOAD AND/OR DEFLECTION ISSUES AT METAL STAIR STRINGER:

Excess give and minimal/no supplemental support (tie-ins at adjacent wall) at the outdoor stair stringer was noted (left yard under carport). Further assessment and evaluation by an engineering or installation specialist is recommended to determine if additional stair support is required. Common load and deflection standards for metal construction material are produced/published by the National Association of Architectural Metal Manufacturers and various code associations (ICC, IRC).

EXCESS RUST/DETERIORATION AT POOL DECK FRAMING (STEEL I-BEAMS):

Leakage at pool coping stones (and general aging/exposure) has resulted in points of excess deterioration and rusting of the steel I-beams serving as support framing for the pool framing. Due to the relatively thin gauge (metal thickness) of the beams, repair may not be possible (welding in new material may be required). Addressing all leakage at pool equipment is needed to eliminate excess moisture issues causing the damage. Contacting a welding specialist is recommended to repair/replace damaged steel beams and ensure any additional issues with steel framing material are eliminated.

NOTE: The steel support piers under the pool deck have been cut and welded back together using a steel plate (see photo below). The purpose for this adjustment is unknown. Consulting with a welding specialist is recommended to determine why this material adjustment and installation method has taken place. At the time of inspection, no specific issues due to this installation method were discovered.

Porches, Balconies, Decks, and Carports (continued)

EXTERIOR FEATURES IN NEED OF GENERAL MAINTENANCE:

Overall, the back deck and/or additional exterior features are in need of general maintenance, updates, and common repair. Contacting a decking or maintenance/repair specialist is recommended to perform these protective and preventative updates (ex: caulking/sealing, staining/painting, common wood damage repair/replacement, etc.).

- Consider Staining Exterior Wood/Decking Features: Added Protection/Extend Material Life Expectancy
- Remove Protruding Screws at Back Left Deck to Reduce Risk of Injury
- Slab Damage at Driveway Entry: Minor Corner Cracks/Missing Concrete (Mainly Cosmetic in Nature)

INSTALLATION CONCERNS AT DOOR EXIT PAVERS:

Large concrete pavers placed outside various exterior doors create have created moisture diversion issues, reduced visual access to view the foundation wall, and increase the likelihood of moisture penetration into the structure. Contacting a landscaping or general repair specialist is recommended to adjust outdoor pavers such that moisture diversion and visibility issues are reduced or eliminated. Specific issues and concerns noted during the property inspection process include, but are not limited to:

- Pavers Installed in Manner That Prevents Visual Assessment of Adjacent Foundation Wall: Reduced Ability to Monitor/Address Issues
- Slope and Paver Height Issue at Kitchen Area Door: Evidence of Moisture Penetration (Wall Damage) at Interior Wall
- Leakage and Pooling Water Due to Slope Issue at Master Shower Door: Rust Damage and Moisture Penetration Concern Near Door Threshold
- Pooling Concern at Various Paver/Door Areas: Rust at Door Framing/Increased Likelihood of Moisture Penetration
- Recommendation: Ensure Pavers Sloped at No Less Than 2% Grade Away From Structure
- Recommendation: Ensure Pavers are Adjusted to Create an Adequate Drop in Height (to Prevent Moisture Penetration -Currently Flush With Wall/Door Threshold)
- Recommendation: Adjust Pavers Such That Foundation Wall is Partially Visible (for Monitoring/Reduced Likelihood of Undiscovered Issues)
- Recommendation: Address All Material Damage Due to Moisture Entry/Pooling

SAFETY STANDARD ISSUES AND TRIP/FALL HAZARDS - BACK STEPS/DECKS:

Safety standards issues at back decks, stairs, and steps were noted. These safety standards are designed to reduce the likelihood of fall injury at elevated heights. Updates to improve the overall safety of the property and reduce the risk of additional issues arising from prohibited building safety conditions (increased liability, etc.) is recommended. If children and/or older individuals are anticipated to be occupants/regular guests, the needs for these updates are increased. Areas of concern noted at the time of inspection include, but are not limited to:

- No Railing at Back Decks/Slabs Significantly Above Maximum Height Allowances (24" Max Height)
- No Railing at Pool Deck Significantly Above Maximum Height Allowances (24" Max Height)
- No Railing at Stairs/Steps (Back Yard Area)
- Dry Stacked Stairs/Uneven Stones With No Railing at Back Yard
- Uneven Steps (Natural Stone) at Back Decks

Other

Other (continued)

MAINTENANCE/REPAIR RECOMMENDATIONS AND CONCERNS:

Areas of common flaws, adjustment needs, and/or general concern were discovered during the thermal camera assessment. Ensure all recommendations and concerns are professionally addressed as needed. Areas of concern noted at the time of inspection include, but are not limited to:

- Address Leakage at Pool Wall: See 'Porches, Decks, Balconies, Carports' Chapter
- Address Pooling at Pavers/Exterior Doors: Moisture Entry Concern

ELECTRICAL SYSTEMS

Sub Panels

MAINTENANCE/REPAIR RECOMMENDATIONS AND CONCERNS:

Areas of common flaws, adjustment needs, and/or general concern were discovered during system assessment. Ensure all recommendations and concerns are professionally addressed as needed. Areas of concern noted at the time of inspection include, but are not limited to:

- Failed Breaker Servicing Sewage Pump/Tank: Repair/Replace as Needed
- NOTE: Information provided by the current owner indicates that this issue had been resolved (breaker replaced following inspection)

Outlets and Switches

FUNCTIONALITY ISSUES OUTLETS/SWITCHES DISCOVERED:

Functionality issues at outlets and switches were noted. The outlet and/or circuit should be further investigated to make proper adjustments/repairs. Areas of noted outlet issues include, but are not limited to:

- 3x Non Functional Exterior Outlets/Right Side Exterior
- 4x Non Functional Landscape Outlets/Lamps/Switches: Right Rear/Right Front
- Unknown Switch/Purpose Not Identified/Pink Bathroom: Consult Current Owner
- Damage to Main Back Patio Outlet (Safety Covers at Power Insert Preventing Use): Replace/Update as Needed
- Non Functional Doorbell: Consult Electrician/Update as Needed
- NOTE: Various Outdoor Outlets/Lights/Electrical Features Not Functional at Time of Inspection: Contact Electrician to Address All Functionality Issues

Fixtures

COMMON FIXTURE ISSUES/CONCERNS:

Common issues or concerns at system fixtures were noted during the limited assessment process. Ensure all concerns are addressed as needed to improve system safety, functionality, and/or general quality. Areas in need of adjustment and/or repair include, but are not limited to:

- Excessive Fan Wobble and Grinding Noise: Secondary Upstairs Living Room/Adjustment Recommended

NON-FUNCTIONAL LIGHTS DISCOVERED:

Functionality issues at light fixtures were noted. If the issues is not resolved through common means (replacement of the fixture bulb or location of undiscovered switch) does not address the noted issue, further investigation of the fixture and/or circuit will be needed. Non-functional lights noted during the limited assessment include, but are not limited to:

- Carport Entry Door
- Right Side Exterior Yard Light/Above Wood Storage Attached to House
- Carport Exterior Motion Light

HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

Cooling Equipment

MAINTENANCE/REPAIR RECOMMENDATIONS AND CONCERNS:

Areas of common flaws, adjustment needs, and/or general concern were discovered during the system assessment. Ensure all recommendations and concerns are professionally addressed as needed. Areas of concern noted at the time of inspection include, but are not limited to:

-Suction/Supply Temperatures at Common Area Unit Marginally Outside Normal Ranges: Service and Update System as Needed

LENNOX SYSTEM DATE WITHIN TIME OF KNOWN ISSUES:

The Lennox system located in the upstairs attic space appears to fall within manufacture dates of recently settled class action lawsuit. Consulting with the current owner is recommended to determine if the system was registered to receive additional protection/reimbursements for system issues (elevated likelihood of evaporator coil leaks). If coil replacement is required, a claim should be filed within 60 days of replacement to receive possible reimbursement of costs. Due to the increased possibility of system flaws, it is recommended that an HVAC specialist further assess the unit to determine if signs of leakage is present. See below for information obtained through the Lennox website:

Lennox Industries Inc. has agreed to settle a class action lawsuit about its evaporator coils, purchased between October 29, 2007 and July 9, 2015. You can obtain information about the settlement at www.evaporatorcoillawsuit.com.

NOTE: The deadlines to register system for additional repair/replacement protection has passed. Consult with the current owners to determine if previous registration occurred.

PLUMBING SYSTEMS

Plumbing Supply, Distribution Systems and Fixtures

COMMON RECOMMENDATIONS AND CONCERNS/ACTIVE EXTERIOR LEAK:

Areas of common flaws, adjustment needs, and/or general concern were discovered during the plumbing portion of the property assessment. Ensure all recommendations and concerns are further investigated and/or professionally addressed as needed. Areas of concern noted at the time of inspection include, but are not limited to:

- Leak Discovered/Reduced Pressure Zone Assembly (Rear Wall): Eliminate All Leaks/Consult Licensed Plumber
- Insulate/Protect All Exposed Supply Piping at Exterior Portions of Structure: Reduced Likelihood of Damage/Freezing
- Consider Replacing Pressure Gauge at Water Tank System: Gauge Cracked/Difficult to Read
- Rust/Corrosion at Gas Line Back Exterior Wall Pipe Connection (Brass to Steel Connection): Update/Protect Material to Prevent Further Corrosion/Leakage (Minor Damage at Time of Inspection)

Drains, Wastes, and Vents

ELEVATED STRESS ON DRAINAGE PUMP SYSTEM - CONSIDER ADDITIONAL UPDATES:

Information gathered during the inspection process indicates that various systems drain directly into the sewage pipe (HVAC condensate/humidity control systems/etc.). The additional drainage into the sewage line, in conjunction with the discovered moisture penetration issues, is adding additional stresses on the pump system. Along with known repair needs, it is recommended that system adjustments take place to divert non-essential drainage out of the sewer line and to alternate termination points. Reducing drainage into the pump tank will improve motor longevity and reduce the likelihood of increased system issues.

Drains, Wastes, and Vents (continued)

SLOW OR BLOCKED DRAINS DISCOVERED:

Slow drains at plumbing fixtures were discovered. All clogged or partially blocked drain lines should be cleared and serviced by a plumbing expert. Areas of noted blockage include; but are not limited to:

- Left Master Sink: Clear/Address Slow Drain
- Lower Level Shower (Excess Hair in Trap): Clear Drain/Remove Debris

MAINTENANCE/REPAIR RECOMMENDATIONS AND CONCERNS:

Areas of common flaws, adjustment needs, and/or general concern were discovered during the system assessment. Ensure all recommendations and concerns are professionally addressed as needed. Areas of concern noted at the time of inspection include, but are not limited to:

- Paint and/or Protect All Outdoor Exposed Portions of Piping (Various Areas): Improved Sun and Damage Protection
- Recover/Seal Exposed Portion of Piping at Back Foundation Wall: Minor Update/Maintenance Improvement

IMPROPER COMMODE INSTALLATION - REPLACEMENTS/UPDATES REQUIRED:

A reduction of the commode drain line pipe diameter at the guest bath was discovered during further analysis of the waste water drainage system (commodes pulled - issue discovered by plumbing specialist). In an effort to avoid future leakage/blockage at this plumbing connection point, replacement of the commode and removal of the reduced drain pipe (or similar adjustments approved by a plumbing specialist) should occur prior to continued, regular usage of the commode. Following updates of the plumbing issue, ensure the new commode is properly set, secured, and caulked around the base/floor connection.

NON-FUNCTIONAL SUMP PUMP SYSTEM:

Sewage overflow was observed at sump pump/grinder system (system shut off at breaker panel prior to inspection). Audible sump alarm heard during testing/troubleshooting. System servicing and further analysis required. Consult licensed plumber or sump/septic installation professional.

NOTE: Information provided by the current owner indicates that the pump issues have been professionally addressed. Requesting all system and repair documents is advised.

PIPE CAMERA ASSESSMENT - PIPE SEPARATION AND MOISTURE ENTRY:

At the time of camera assessment, a section of possible pipe separation and moisture entry into the pipe was observed (exact location unknown - assumed at buried pipe nearing pump system). The moisture entry point into the sewage line appeared to be located at a pipe connection joint. The source of the incoming water could not be determined. Further assessment by a plumbing expert is required to isolate and repair the noted sewage/drainage issues and ensure no undiscovered update needs are present. Ensure additional investigation occurs to isolate the source of water entering the pipe and determine if supply side plumbing repairs/adjustments are warranted.

Water Heating Equipment

CONDENSATE POOLING/COLLECTING AT SYSTEM EXHAUST:

An elevated degree of condensate moisture building up and pooling in the water heater exhaust pipe was noted (lower level unit - storage room). This issue is likely due to inadequate sloping/installation of the exhaust pipe. Further investigation by a plumbing specialist is required to determine what system adjustments/remedies are available and warranted.

NOTE: This concern was noted in a previously delivered report.

Water Heating Equipment (continued)

PROPERLY SECURE AND LEAK PROTECT EXPANSION TANK:

A system expansion tank (lower level storage room) has been installed such that the weight of tank material is supported completely by the attached pipe. Additional strap support and a plumbed drip pan should be installed to reduce the likelihood of pipe stress, leaks, and material damage (if in the event of a leak).

CONSIDER THE ADDITION OF NEUTRALIZERS:

The installation of condensate neutralizers should be considered at water heaters in which the condensate drain lines exit at areas of concrete or building material. Neutralizers reduce condensate acidity which can, over time, cause material damage and deterioration. Neutralization of acidic condensate draining away from buildings (onto soil/rock) is not required.

MAINTENANCE/REPAIR RECOMMENDATIONS AND CONCERNS:

Areas of common flaws, adjustment needs, and/or general concern were discovered during system assessment. Ensure all recommendations and concerns are professionally addressed as needed. Areas of concern noted at the time of inspection include, but are not limited to:

- Condensate Drain Line Terminates Onto Supply Piping/Excess Corrosion Observed/Rear Wall System: Extend Drain Line Away From System Components and Consult Licensed Plumber
- Condensate Drain Lines Terminate at Foundation Walls: Drain Line Extensions Recommended Where Feasible (Improved Moisture and Insect Protection)

APPLIANCES

Other

ISSUES AT OUTDOOR GRILL:

Ignition, functionality issues at the outdoor grill were noted (info attained during inspection and consultation with owner). Ensure the issues are addressed and the system fully functional prior to completion of transaction.

NOTE: Info provided by the current owner indicates that replacement parts have been ordered and repairs are scheduled (verify through current owner/unit repair specialist).

OPTIONAL SYSTEMS

Landscape Irrigation (Sprinkler) Systems

COMMON DAMAGE TO SPRINKLER EQUIPMENT:

Damaged sprinkler heads and/or system components were noted. Ensure all damaged material is replaced as needed. Areas of damage discovered at the time of inspection include; but are not limited to:

ZONE #3: Back Yard Flat Grass Area / 6 Rotating Sprayers / 1x Ruptured Head / Exposed Supply Lines / Physical Damage Concerns

ZONE #4: Front Left Planters Beds / 15 Stationary Sprayers / 2x Non Functional Heads

ZONE #5: Front Middle Planters / 10 Stationary Sprayers / 1x Sprayer w/ Low Flow

ZONE #6: Front Right Planters / 15 Stationery Sprayers / 1x Sprayer w/ Low Flow

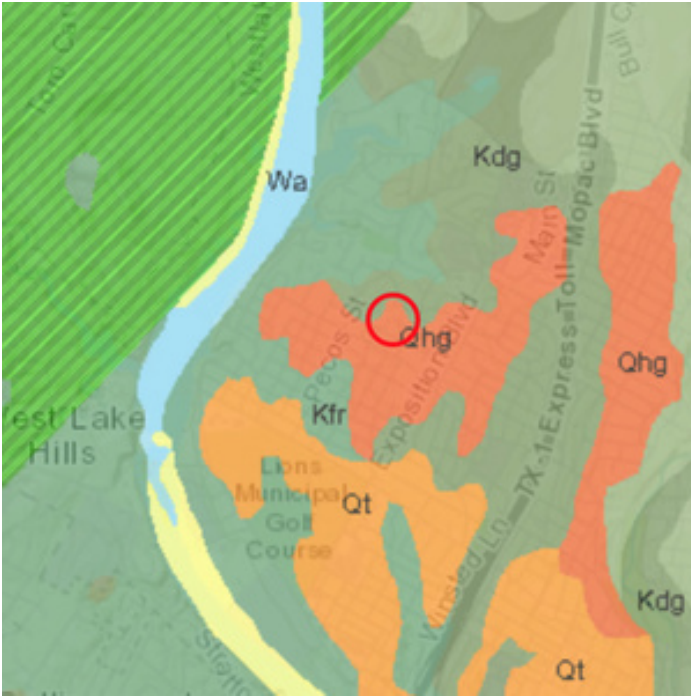
ZONE #10: Right Rear Side Yard Planters Beds / 10x Stationary Sprayers / 2x Heads Blocked by Landscaping / Poor Coverage

ZONE #13: Rear Patio Planters / Pool Side Planters / 17 Stationary Sprayers / 2x Non Functional Heads

ZONE #14: Far Rear Right Yard / 4 Stationary Sprayers / 2x Damaged Heads

Inspection Photos

Foundations



GEOLOGICAL MAP INFORMATION



REFERENCE POINT - FOUNDATION SURVEY



NORMAL READINGS - FOUNDATION SURVEY



NORMAL READINGS - FOUNDATION SURVEY



VISUAL LIMITATIONS DUE TO FOLIAGE



REMOVE FORM BOARD DEBRIS



REMOVE PROTRUDING NAILS



EXPOSED PLUMBING - BACK WALL

Grading and Drainage



FRENCH DRAIN SYSTEM PRESENT



INSTALL SPLASH STONES



MONITOR NEGATIVE GRADE - RIGHT



SERVICE/CLEAR GUTTERS



TREES IN CONTACT WITH GUTTERS/ROOF



GUTTER DAMAGE - LEFT SIDE

Roof Covering Materials



COMPLEX ROOF DESIGN



BRANCHES OVERHANG ROOF



SAP/ADHESIVE AT SOFFIT FEATURES



LOOSE SELF-TAPPING SCREWS



ELIMINATE TREE CONTACT



INSTALL CONCERN AT BOOTS



INSTALL CONCERN AT BOOTS



BOOT/SEAM CONCERN - LEFT SLOPE



FLASHING/PANEL ISSUES - RIGHT SIDE



INSTALL/MOISTURE PENETRATION CONCERNS



FLASHING INSTALL CONCERNS



INSTALL CONCERN - RIGHT FLAT ROOF

Roof Structures and Attics



I-BEAM CONSTRUCTION - LOWER LEVEL



FOAM INSULATION AND PATCH

Interior Walls



LASER LEVEL - TESTED WALLS PLUMB



LASER LEVEL - TESTED WALLS PLUMB



CONTROL READING - MOISTURE METER



NORMAL READING - PREVIOUS LEAK DAMAGE



TILE GAPS/TUB SURROUND



GAP AT SHOWER PEDESTAL



MOISTURE DAMAGE - KITCHEN AREA WALL



SLAB ADJACENT INTERIOR DAMAGE

Exterior Walls



WEEP SCREEDS PRESENT



NORMAL MOISTURE READINGS/EXTERIOR



VISUAL LIMITATIONS



HEAVY FOLIAGE CONTACT



MONITOR NORMAL CRACKING



MONITOR NORMAL CRACKING



PEELING DECORATIVE FINISH



EXPANSION CRACKS/MOISTURE CASCADE



HIGH SOIL LINES/KITCHEN ENTRY



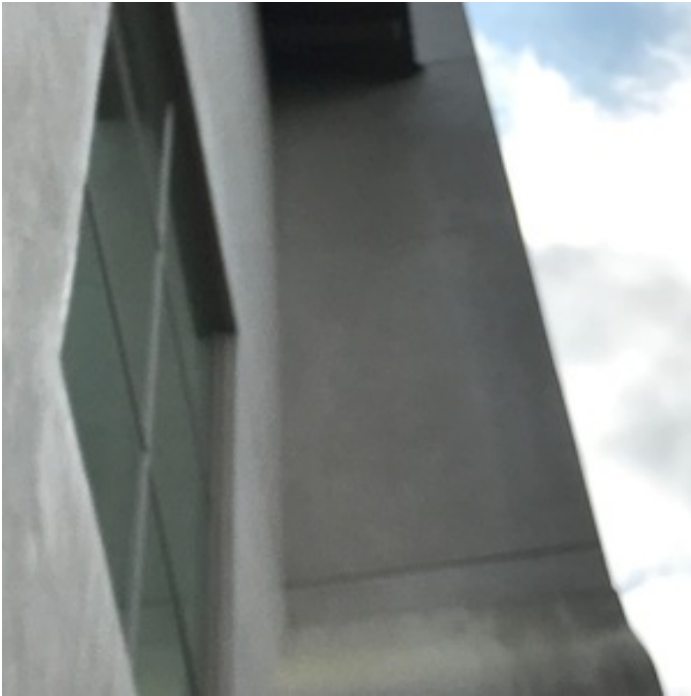
SPRINKLER OVERSPRAY/FRONT DOOR



MOISTURE WICK NEAR FLASHING CRACKS



MOISTURE WICK NEAR MASTER BATH



RUN OFF AT CHIMNEY AREA



BACKER BOARD AT EXTERIOR WALL



BACKER BOARD AT EXTERIOR WALL



MINOR GAPS NEAR DOOR CONNECTIONS



MATERIAL SEPARATION AT EDGE TRIM



SIDING CRACK NEAR ROOF TRIM - RIGHT

Ceilings



ISOLATED RUST AT I-BEAM

Floors



SEAL GAP - FRONT DOOR TRANSITION

Doors



NON FUNCTIONAL KEY PAD



LOOSE HANDLE



RUST/DAMAGE AT THRESHOLD



MOISTURE ENTRY CONCERN - THRESHOLD AREAS

Windows



REMOVED MOTORIZED BLIND



MISSING CRANKS

Fireplaces and Chimneys



LOOSE MATERIALS/FIRE BOX (MINOR CONCERN)

Porches, Balconies, Decks, and Carports



MINIMAL STRINGER BRACING/SUPPORT



CUT PIERS - PURPOSE UNKNOWN



POOL LEAK/BEAM DAMAGE



BEAM DAMAGE - POOL DECK



BEAM DAMAGE - POOL DECK



BEAM DAMAGE - POOL DECK



EXTERIOR FEATURES COVER FOUNDATION



SLOPE CONCERN AT DOOR PAVERS



MOISTURE POOLING - SHOWER DOOR



MOISTURE ENTRY - PAVER/THRESHOLD



SLAB FLUSH WITH WALL



MISSING RAILING



UNEVEN STEP AT PORCH



MISSING RAILING/UNEVEN STONE STEPS



NO DECK/STEP RAILING

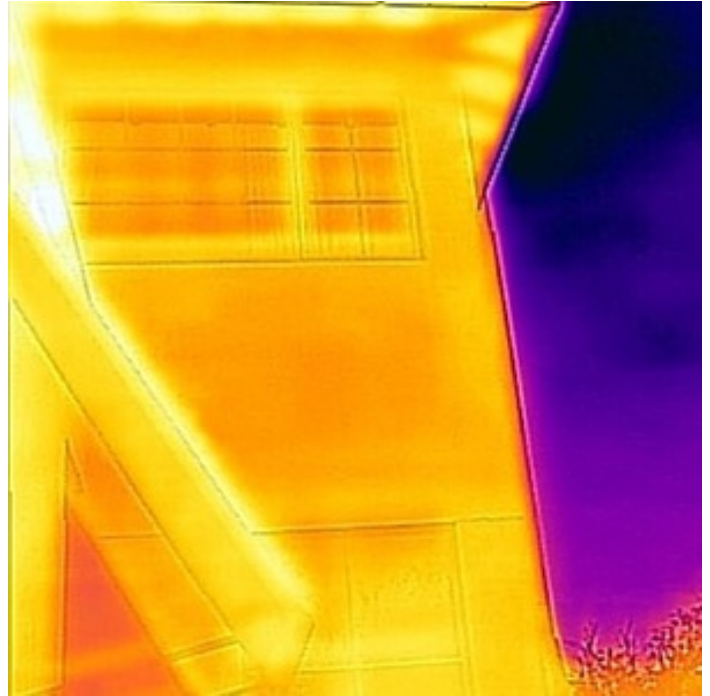


NO RAILING/DRY STACK STEPS

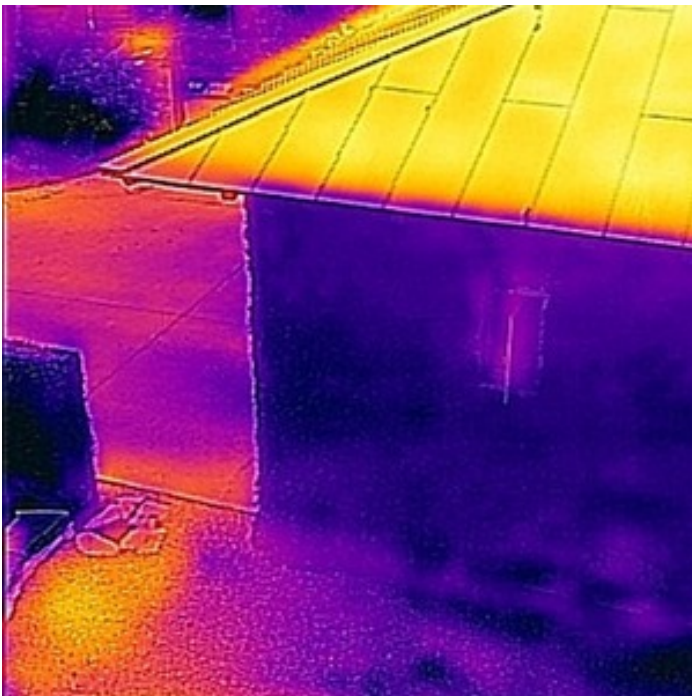
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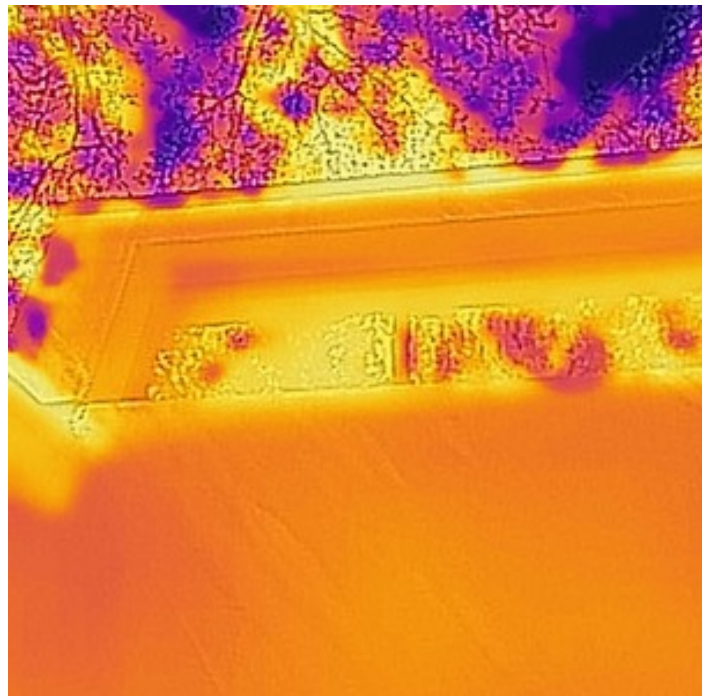
NORMAL READINGS - THERMAL CAMERA



NORMAL READINGS - THERMAL CAMERA



NORMAL READINGS - THERMAL CAMERA



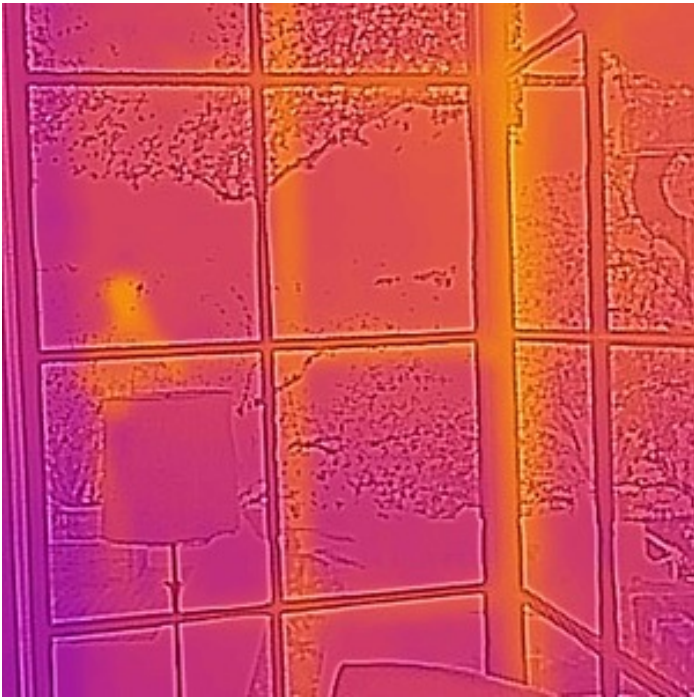
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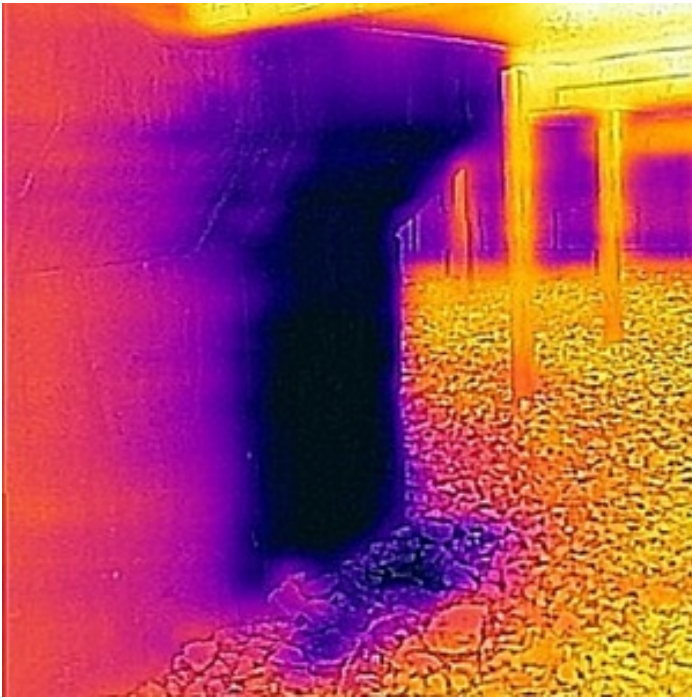
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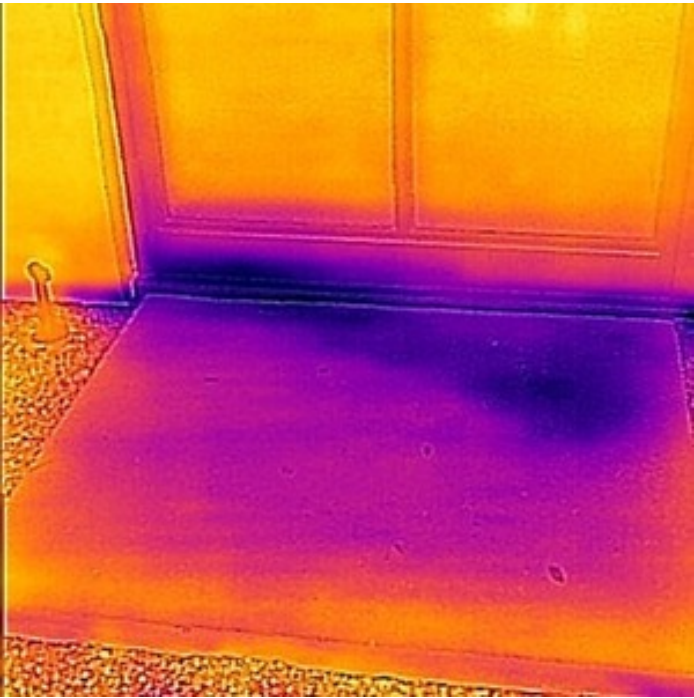
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LEAK AT POOL WALL

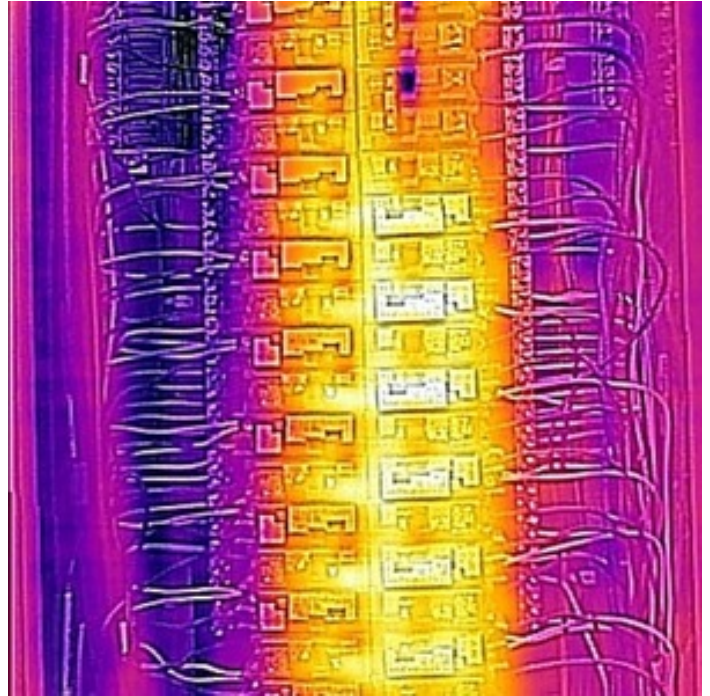


POOLING AT PAVERS

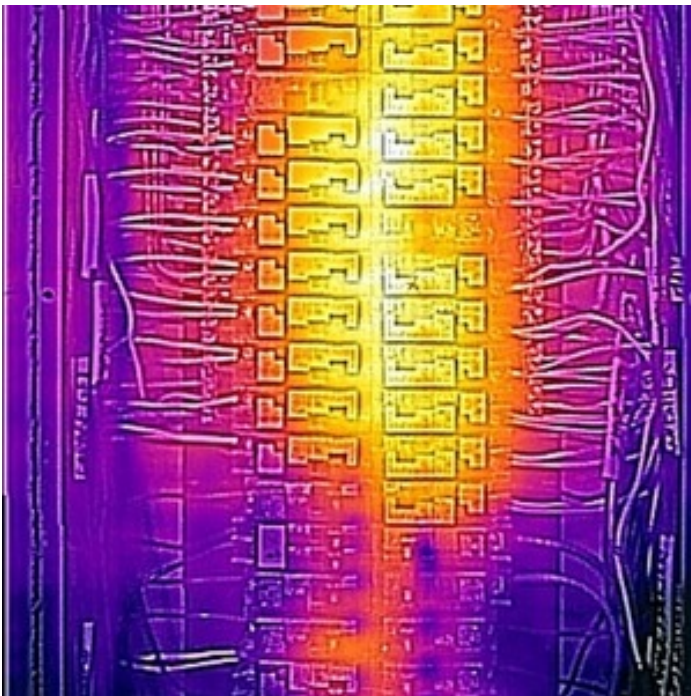
Sub Panels



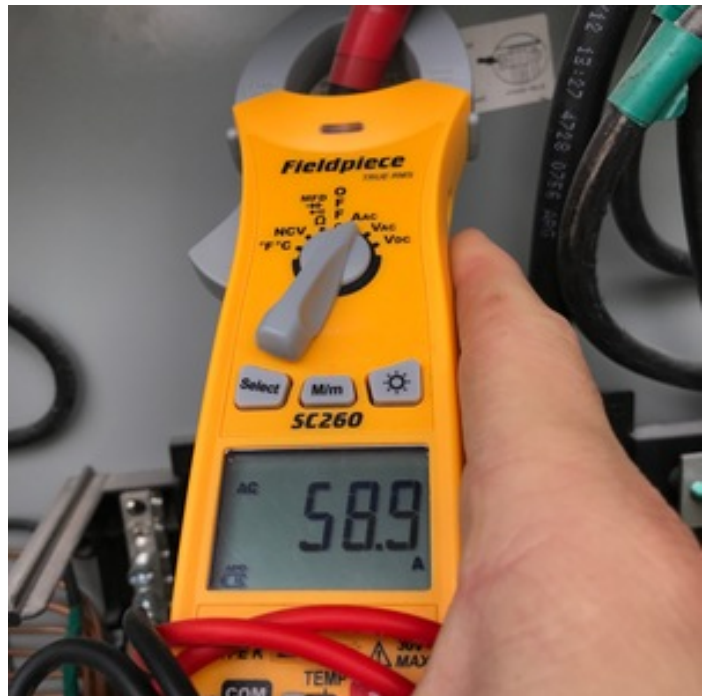
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NORMAL READINGS - THERMAL CAMERA



NORMAL READINGS - THERMAL CAMERA



NORMAL LOAD DEMAND - SUB PANEL



FAILED BREAKER - SEWER PUMP



NO POWER AT PUMP

Distribution Wiring



PROPER WIRE PROTECTION



PROPER EXTERIOR WIRE PROTECTION

Outlets and Switches



ISSUE AT OUTLET INSERT



NON FUNCTIONAL EXTERIOR OUTLETS



NON FUNCTIONAL LANDSCAPE OUTLETS



NON FUNCTIONAL LANDSCAPE OUTLETS

Fixtures

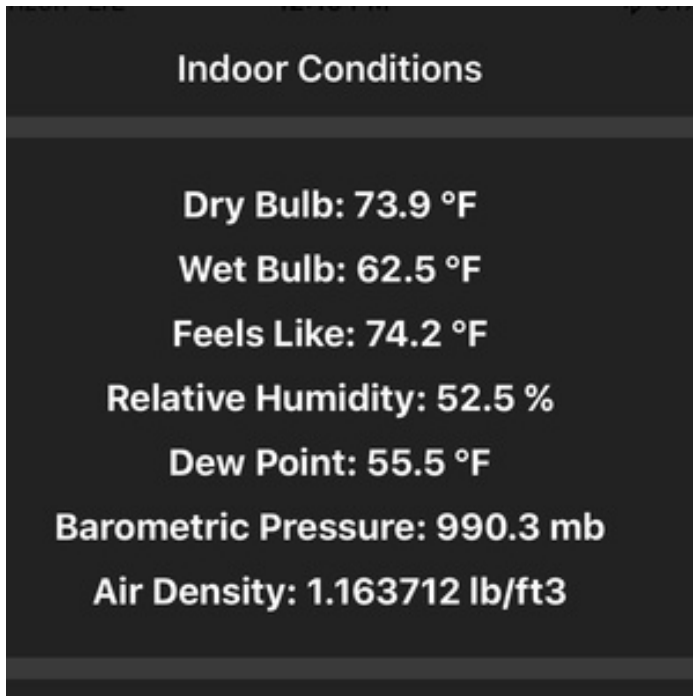


NON FUNCTIONAL LIGHTS



EXCESS WOBBLE

Cooling Equipment



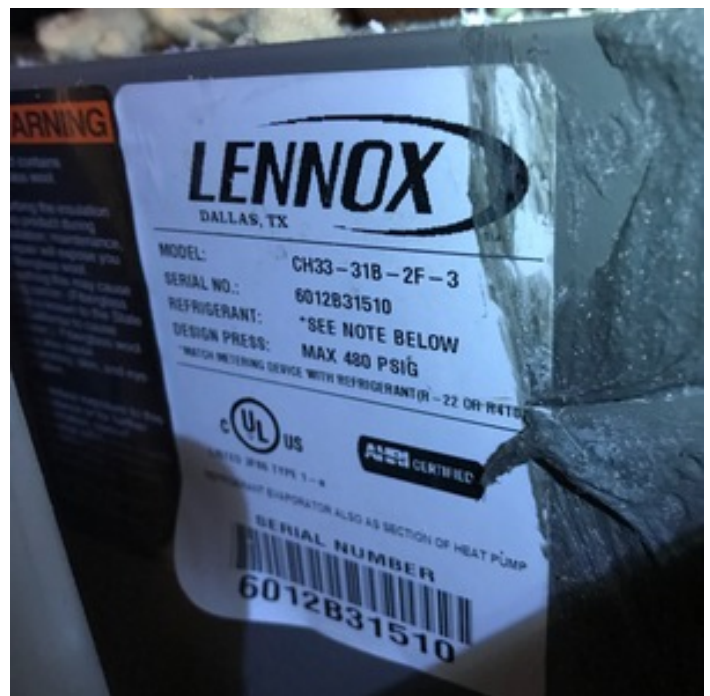
NORMAL INDOOR CONDITIONS



NORMAL SUPPLY TEMP - LOWER UNIT



SYSTEMS MET COOLING DEMAND



2012 LENNOX EVAPORATOR



ELEVATED SUCTION LINE TEMP



SUPPLY DELTA OUTSIDE RANGE (MARGINALLY)

Duct Systems, Chases, and Vents



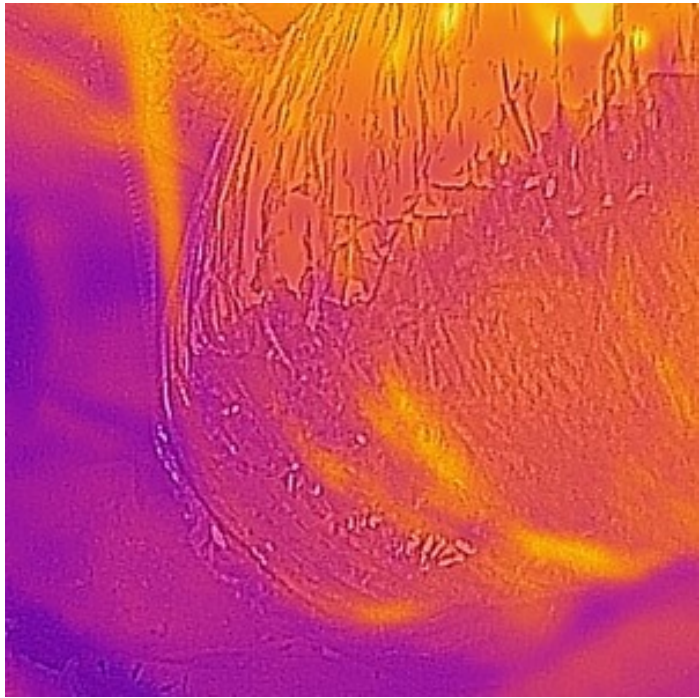
DUCTS PROFESSIONALLY INSTALLED



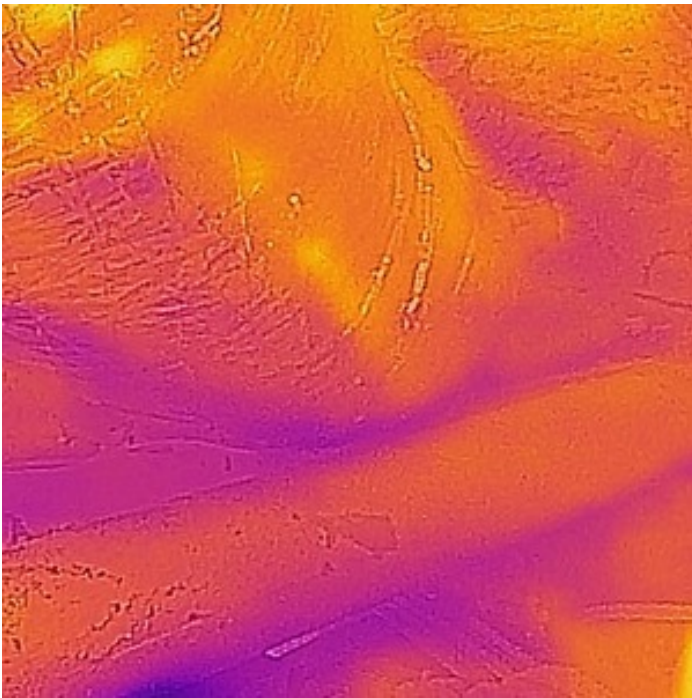
DUCTS PROFESSIONALLY INSTALLED



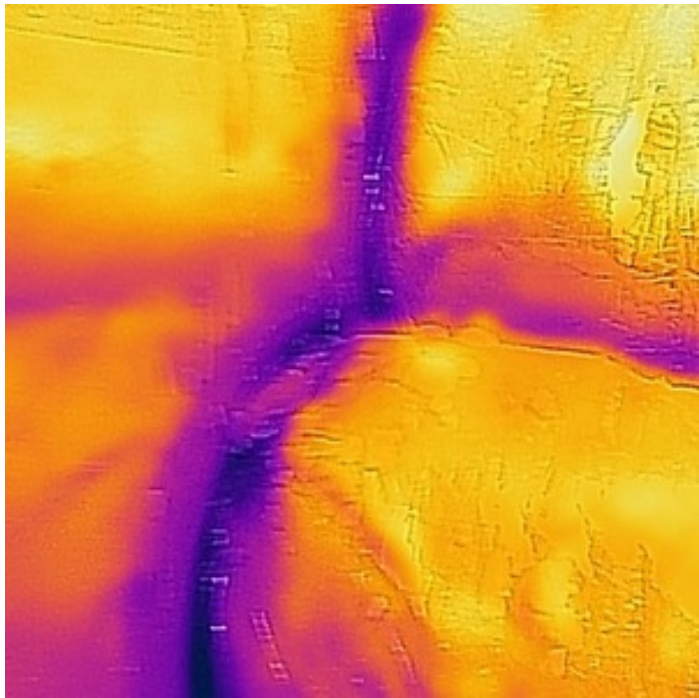
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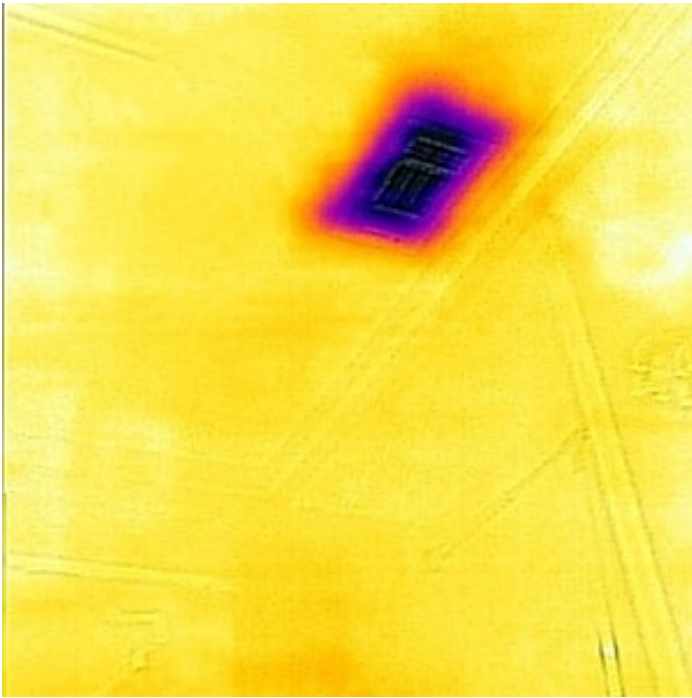
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NORMAL READINGS - THERMAL CAMERA



NORMAL READINGS - THERMAL CAMERA



NORMAL READINGS - THERMAL CAMERA

Plumbing Supply, Distribution Systems and Fixtures



START PRESSURE TEST



END TEST - PRESSURE HOLDING



PROTECT/INSULATED EXPOSED PIPING



MINOR CORROSION AT BRASS/STEEL CONNECTION



ACTIVE LEAK - PRESSURE VALVE



ACTIVE LEAK - PRESSURE VALVE

Drains, Wastes, and Vents



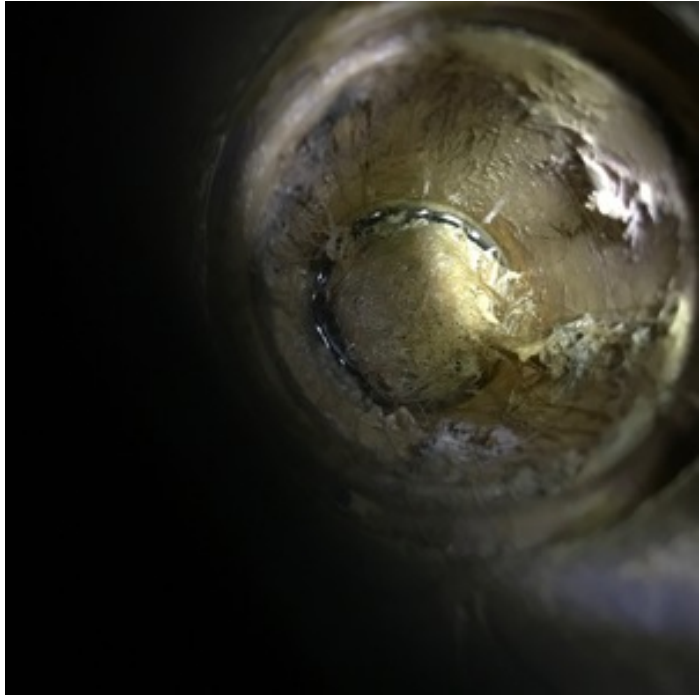
PROTECT EXPOSED PIPES



PROTECT ALL EXPOSED PIPING



COVER/SEAL EXPOSED PIPE



CLEAR SHOWER TRAP



NON FUNCTIONAL/SUMP TANK OVERFLOW



COMMODE DRAIN REDUCED (OVER 50%)



COMMODE DRAIN REDUCED (OVER 50%)



PIPE CAMERA - NO ISSUES OBSERVED



PIPE CAMERA - NO ISSUES OBSERVED



PIPE CAMERA - WATER ENTERING PIPE

Water Heating Equipment



THREE TANKLESS SYSTEMS PRESENT



NORMAL TEMPERATURE READINGS



NORMAL TEMPERATURE READINGS



EXAMPLE: NAVIEN NEUTRALIZER



EXTEND CONDENSATE DRAINS



EXTEND CONDENSATE DRAINS



EXTEND CONDENSATE DRAINS



SECURE/LEAK PROTECT EXPANSION TANK



SUPPLY PIPE CORROSION



EXCESS CONDENSATE/EXHAUST FLUE



EXCESS CONDENSATE POOLING

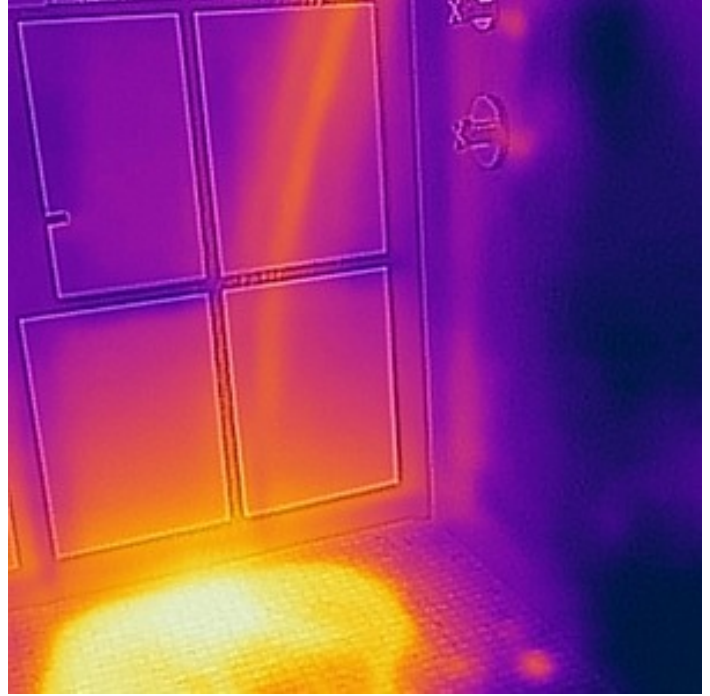


EXCESS EXHAUST MOISTURE

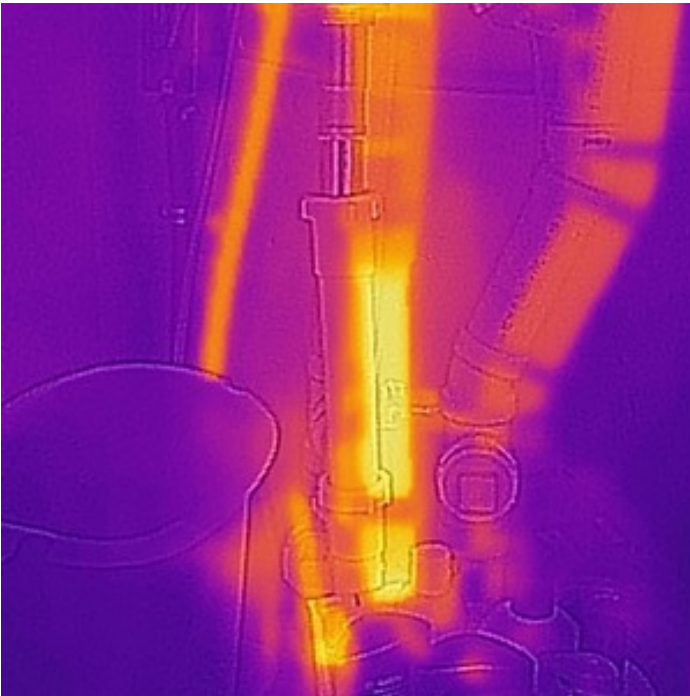
Other



NORMAL READINGS - THERMAL CAMERA



NORMAL READINGS - THERMAL CAMERA



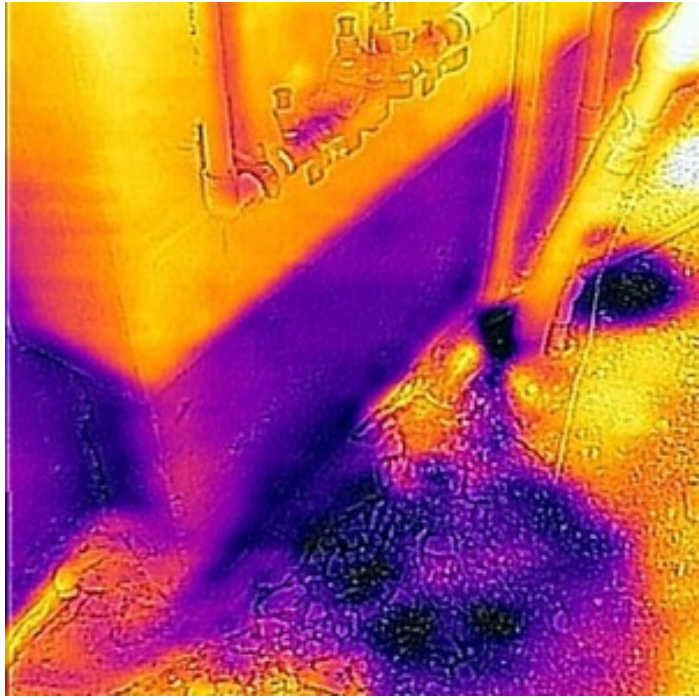
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NORMAL READINGS - THERMAL CAMERA



LEAK AT PRESSURE VALVE

Landscape Irrigation (Sprinkler) Systems



HEAD LEAK



LOW PRESSURE



NON FUNCTIONAL HEAD



RUPTURED HEAD



HEADS BLOCKED BY LANDSCAPING



EXPOSED SUPPLY LINES

ADDENDUM: REPORT OVERVIEW

THE SCOPE OF THE ASSESSMENT

THE SCOPE OF THE INSPECTION

All components designated for inspection in accordance with the rules of the TEXAS REAL ESTATE COMMISSION (TREC) are inspected, except as may be noted by the “Not Inspected” or “Not Present” check boxes. Explanations for items not inspected may be in the “TREC Limitations” sections within this report.

This inspection is visual only. A representative sample of building components are viewed in areas that are accessible at the time of the inspection. No destructive testing or dismantling of building components is performed.

It is the goal of the inspection to put a home buyer in a better position to make a buying decision. Not all improvement needs will be identified during this inspection. Unexpected repairs should still be anticipated. The inspection should not be considered a guarantee or warranty of any kind.

Please refer to the pre-inspection contract for a full explanation of the scope of the inspection.

CLIENT ACKNOWLEDGES INSPECTION LIMITATIONS AND ACCEPTS ALL ASSOCIATED RISKS:

The inspection process is NOT designed to discover and report upon all issues present or possibly present at the time of inspection. The inspection process is designed to provide the client with a general overview and professional opinion of a building's basic condition. Inspection results are based on LIMITED information which may prevent the detection of deficiencies, both minor and major. All clients/agents engaging in the inspection process are advised to anticipate and budget for unexpected/undiscovered issues. The inspection process can provide various points of valuable information, however, the risk of unexpected costs and issues is not eliminated through this service. The client acknowledges the limitations of the inspection processes and accepts the responsibility of all unexpected issues, hazards, and costs that may or may not have been present at the time of inspection.

THE STRUCTURE IN PERSPECTIVE

WELL BUILT - WELL MAINTAINED

In this Inspector's professional opinion, this is a well-built, well-maintained home. The repairs, maintenance, and improvements recommended in this report are common for a home of this age and type. All homes require maintenance, occasional repairs, and occasional system improvements.

ADDITIONAL INSPECTION LIMITATIONS PRESENT:

Additional limitations due to heavy storage, furniture, owner/tenant occupancy during the inspection process, and/or unique issues/situations were present during the assessment of the property. An increased likelihood of undiscovered issues applies due to these additional limitations. It is the goal of the inspection to put a home buyer in a better position to make a buying decision. Not all improvements will be identified during this inspection. Unexpected repairs should still be anticipated. The inspection should not be considered a guarantee or warranty of any kind.

LARGE STRUCTURE, COMPLEX SYSTEMS - BUDGET FOR ELEVATED MAINTENANCE AND UPDATE NEEDS:

Due to the overall size of the structure, elevated amount of system, increased degree of system complexity, an increased budget will be required to properly maintain and update the home as needed. Ensure the property is regularly assessed and serviced by system maintenance specialists. The creation and implementation of a building maintenance program (similar to those created for/by commercial maintenance specialists) is advised. basic maintenance information can be obtained at:

www.atxinspect.com/maintenance411

For a maintenance plan specialized for the this specific structure, please contact TAHI Services and Greenbelt

Structural.

NOTE: This is not a full TREC report and should not be used as such. A full TREC report will be delivered at a later date/time. Please use this report as a partial and cursory document.